



Advertisement for Construction Management at Risk Services Pre-Construction Services/Project Brief

Project: Avery Residence Hall - Renovations
The University of North Carolina at Chapel Hill

Advertised: July 28, 2023

Closing Date for Submittals: August 25, 2023

The University of North Carolina at Chapel Hill is soliciting submittals from firms interested in providing Construction Management at Risk (CM@Risk/CMR) pre-construction services for this project.

I. Project Description

The existing Avery Residence Hall is an existing five story residence hall located on Ridge Road at the end of Stadium Drive on the UNC-CH campus. The project includes a 4860 Gross Square Foot (GSF) addition to the existing building along with renovations and repairs. The existing building is approximately 63,600 GSF.

The scope of site improvements at the front of the building includes creating an accessible path from the front entrance directly to the sidewalk at Ridge Road and a new drop off drive for Point-To-Point transit. At the back of the building and at the new addition, the site improvements will consist of a new accessible path from the street crossing to the west of Avery to the backside of the building up to the new addition, which will connect Avery to the north end of the campus. Other site and utility improvements include new domestic water service and backflow preventor, new storm drainage system, new landscaping and plantings, new sanitary connections, new chilled water connections, new service transformer, among others.

The ground floor of the building will consist of a renovated office suite for Carolina’s housing use, along with new facilities for the building – laundry, storage, mechanical, electrical rooms, etc. Floors 1-4 of the existing building will be renovated to have two new accessible suits that stack on all floors. The renovation scope will also include all existing windows being replaced, HVAC improvements, roof repairs, abatement, etc. The new addition will include a new elevator for vertical circulation, egress stair, and study rooms.

The project will be designed and constructed to University goals of environmental sustainability as set out in the [UNC Climate Action Plan](#).

Advanced Planning concluded on February 6, 2023, and a Schematic Design submission to SCO was on June 28, 2023. Renovations to the existing building are expected to be completed by July 17, 2025 so that Carolina Housing can have beneficial occupancy for all residence rooms. The final stages of construction of the addition could extend into the fall semester of 2025 if need be.

The construction budget for the project is \$23,143,246.

<u>New Construction</u>	
New Addition	\$3,505,506
<u>Renovation</u>	
Existing Building	\$19,354,641
<u>New Fire Lane</u>	
Site	\$283,099



A projected project schedule is shown below.

Advertisement Phase	Estimated Dates
Advertise RFP	28-July-2023
Pre-proposals Site Walk Through	10-Aug-2023
Proposals Submission by CMRs	25-Aug-2023
Selection Committee’s Recommendations	30-Aug-2023
CMR Interview	07-Sept-2023
Board of Trustees Approval	27-Sept-2023
Project Phase	Estimated End Dates
CMR Award	28-Sept-2023
Schematic Design	30-June-2023
Design Development	6-Oct-2023
Construction Documents	17-May-2024
Bidding Award	17-June-2024
Construction Start	17-July-2024
Occupancy – Renovation	17-July-2025
Occupancy - Addition	18-Sept-2025

II. Master Plans and Design & Construction Guidelines

The Master Plans and Design & Construction Guidelines will be the guiding documents for the design of this project. For more information on these documents, please visit the [University’s Design Guidelines website](#).

III. Project Scope

The CMR team is to:

- Evaluate earlier analysis, studies, reports of site, Advanced Planning document, and Schematic Design documents.
- Assist coordination between University stakeholders, such as, the Department of Facilities Planning + Design, Construction Management, Engineering Services, Facilities Operations, Carolina Housing, and other University support services.
- Prepare and facilitate sub-contractor prequalification, HUB outreach, and bid packaging for the project. The bid documents shall be in compliance with provisions regarding the NC State Statutes.
- Prepare costs, schedules, and phasing plans for the project.

IV. CMR Team

The University expects prospective design teams and the individuals identified as members of those teams to have demonstrated experience in programming, siting, designing educational buildings, exterior spaces and structured parking. CMR proposals should include a comprehensive listing of all consultants, including engineering, and others needed to address the specific needs of the project. The CMR team must demonstrate the ability to construct facilities that are sympathetic to the existing campus context and considering the campus design guidelines.

V. Selection Process

There will be a pre-proposal/walk-through meeting on August 10, 2023 at 3:00 PM (In Person) where interested CMRs will be able to discuss the programmatic issues & opportunities with the University’s Facility Architect, and the facility user group.



All proposals are due on August 25, 2023 on or before 3:00 PM. A Selection Committee, consisting of staff members from Facilities Planning & Construction, Facility Services, Carolina Housing, Architect of Record, and/or other members of the campus community will convene on **August 30, 2023 (In Person)** to discuss the CMR Teams’ proposals. The Selection Committee will then select and contact the CMR teams that are short listed for the interviews.

CMR Interviews are scheduled for September 7, 2023. (In Person at the Giles Horney building) The Selection Committee will consist of the project’s Building Committee; staff members from Facilities Planning & Construction, Facility Services, Carolina Housing, Architect of Record, and/or other members of the campus community. The format of the interview will consist of a 30-minute presentation by the CMR/CMR Team that is followed by a 10 to 15-minute question and answer session. Each CMR team is expected to have in attendance the person(s) from their firm(s) who will be responsible for the execution of this project.

Following the interviews, the Selection Committee will issue recommendations, in priority order, for the selection of the CMR Team. A recommendation will then be forwarded to the University’s Board of Trustees on **September 7, 2023** for the final approval.

VI. Submittals

The University of North Carolina at Chapel Hill seeks letters of interest from firms who have recent experience with similar projects. The submittal must include descriptions of *(based on 01 NCAC 30J .0303 SELECTING CRITERIA)*:

1. Workload that is able to accommodate the addition of this project.
2. Record of successfully completed projects, with references, of similar scope without legal or technical problems.
3. Previous experience with the public owner, a good working relationship with owner representatives, projects completed in a timely manner and an acceptable quality of work.
4. Key personnel that have appropriate for contract experience and qualifications.
5. Relevant and easily understood graphic or tabular presentations.
6. Completion of Construction Manager-At-Risk projects in which there were few differences between the guaranteed maximum price and final cost.
7. Projects that were completed on or ahead of schedule.
8. Recent experience with project costs and schedules.
9. Construction administration capabilities.
10. Proximity to and familiarity with the area where the project is located.
11. Quality of compliance plan for minority business participation as required by G.S. 143-128.2.
12. Other factors that may be appropriate for the project.

In addition to the State Building Commission criteria the General Administration requirements are the following;

- The project team, including partners/associates proposed for this project.

The University expects the participation of minority businesses to be a part of the CM@ Risk project team. The Owner, at their option, may choose to have the CM identify their minority partner(s) either pre or post selection process. In the RFP, the CMR team shall effectively demonstrate the role and responsibility of any expected HUB participation and how this Joint Venture/Partnership, Professional Services, or Mentor/Protégé models ensure compliance with the owner’s stated HUB program goals, and clearly indicate the arrangement that shall be put in place to fulfill the obligations of the CMR and the minority partner(s).”

- “Partnering” shall be defined under these three types; Mentor/Protégé, Joint Venture, and Professional Services.
 - Under the Mentor-Protégé Arrangement, the goal is to provide experiential opportunities on the project and address the human resource development needs of HUB construction firms.



- The Legal Joint Venture or Partnership Model is where a HUB firm may partner with a large CM or GC. Both firms contribute expertise and resources and share risk and reward according to their respective contribution.
- Under the Professional Service Model the goal is to provide an opportunity and experience to non-construction trade groups, obtaining the engineering, design, and scheduling services necessary for the successful completion of the job.

To fairly evaluate the submittals and to better utilize the Selection Committee’s review time, we request that only pertinent information relating to the specific selection criteria listed above be provided in an Executive Summary with supporting material to follow in the submittals. UNC-CH does not limit the quantity of pages for proposals.

Note: (1) one electronic PDF file of the submittal is required via email or share file as well as (1) one print copy of the submittal.

In order that the selection process to be as objective as possible, do not contact members of the Board of Trustees, or any university officials other than the Facility Project Manager. All questions and project submittals are to be directed to:

Quade T Gallagher, AIA (he/him)
The University of North Carolina at Chapel Hill
PM, Planning & Project Management
Facilities Planning and Design
Giles Horney Bldg | CB 1090
103 Airport Drive, Chapel Hill, NC 27599
C: (984) 484-4113
E: quadeg@unc.edu

SEE ATTACHMENTS ON FOLLOWING PAGES.

THE FULL SD SET OF DOCUMENTS ARE AVAILABLE UPON REQUEST. PLEASE NOTE THAT THESE DOCUMENTS DO NOT CONSTITUTE A FINAL DESIGN.



ATTACHMENTS



Aerial View of Main Campus

END OF DOCUMENT

June 28, 2023
NOT FOR CONSTRUCTION



THE UNIVERSITY
OF NORTH CAROLINA
at CHAPEL HILL

AVERY
RESIDENCE HALL
RENOVATION

TAG DESCRIPTION DATE

Project: 20UNC131

SCO ID: 20-21580-04A

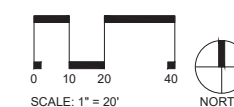
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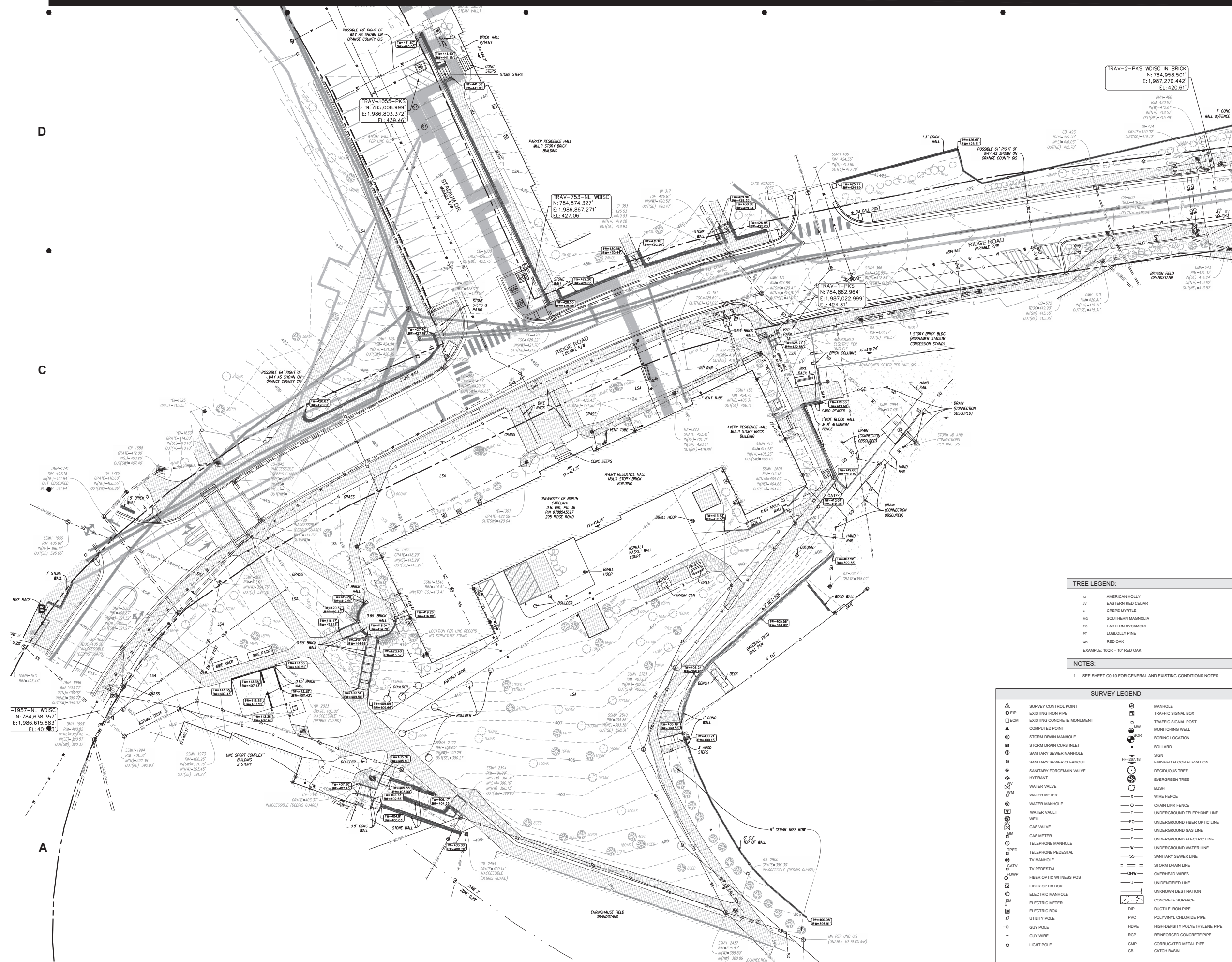
Date: June 28, 2023

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EXISTING
CONDITIONS PLAN



SCHMATIC
DESIGN
C1.00



TREE LEGEND:

AO	AMERICAN HOLLY
AV	EASTERN RED CEDAR
LI	CREPE MYRTLE
MG	SOUTHERN MAGNOLIA
PD	EASTERN PINE
PT	LOBLOLLY PINE
OR	RED OAK
EXAMPLE: 100R = 10' RED OAK	

NOTES:

- SEE SHEET C0.10 FOR GENERAL AND EXISTING CONDITIONS NOTES.

SURVEY LEGEND:

△	SURVEY CONTROL POINT	⊙	MANHOLE
⊙	EXISTING IRON PIPE	⊙	TRAFFIC SIGNAL BOX
⊙	EXISTING CONCRETE MONUMENT	⊙	TRAFFIC SIGNAL POST
⊙	COMPUTED POINT	⊙	MONITORING WELL
⊙	STORM DRAIN MANHOLE	⊙	BORING LOCATION
⊙	STORM DRAIN CURB INLET	⊙	BOLLARD
⊙	SANITARY SEWER MANHOLE	⊙	SIGN
⊙	SANITARY SEWER CLEANOUT	FF=26' 18"	FINISHED FLOOR ELEVATION
⊙	SANITARY FORCEMAIN VALVE	⊙	DECIDUOUS TREE
⊙	HYDRANT	⊙	EVERGREEN TREE
⊙	WATER VALVE	⊙	BUSH
⊙	WATER METER	⊙	WIRE FENCE
⊙	WATER MANHOLE	⊙	CHAIN LINK FENCE
⊙	WATER VAULT	⊙	UNDERGROUND TELEPHONE LINE
⊙	WELL	⊙	UNDERGROUND FIBER OPTIC LINE
⊙	GAS VALVE	⊙	UNDERGROUND GAS LINE
⊙	GAS METER	⊙	UNDERGROUND ELECTRIC LINE
⊙	TELEPHONE MANHOLE	⊙	UNDERGROUND WATER LINE
⊙	TELEPHONE PEDESTAL	⊙	SANITARY SEWER LINE
⊙	TV MANHOLE	⊙	STORM DRAIN LINE
⊙	TV PEDESTAL	⊙	OVERHEAD WIRES
⊙	FIBER OPTIC WITNESS POST	⊙	UNIDENTIFIED LINE
⊙	FIBER OPTIC BOX	⊙	UNKNOWN DESTINATION
⊙	ELECTRIC MANHOLE	⊙	CONCRETE SURFACE
⊙	ELECTRIC METER	⊙	DUCTILE IRON PIPE
⊙	ELECTRIC BOX	⊙	PVC POLYVINYL CHLORIDE PIPE
⊙	UTILITY POLE	⊙	HDPE HIGH DENSITY POLYETHYLENE PIPE
⊙	GUY POLE	⊙	RCP REINFORCED CONCRETE PIPE
⊙	GUY WIRE	⊙	CMP CORRUGATED METAL PIPE
⊙	LIGHT POLE	⊙	CB CATCH BASIN

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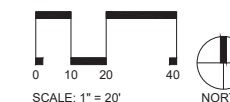


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SITE PLAN



**SCHEMATIC
DESIGN
C3.00**



SITE LEGEND:	
SYMBOL	DESCRIPTION
[Symbol]	PROPOSED BUILDING
[Symbol]	HEAVY DUTY ASPHALT
[Symbol]	LIGHT DUTY ASPHALT
[Symbol]	HEAVY DUTY CONCRETE
[Symbol]	LIGHT DUTY CONCRETE
[Symbol]	TRUNCATED DOME PAVING
[Symbol]	TRANSITION CURBS AT RAMPS
[Symbol]	GRASSPAVE
[Symbol]	RIVER ROCK
[Symbol]	LANDSCAPE BUFFER
[Symbol]	TREE SAVE AREA
[Symbol]	WETLAND
[Symbol]	PLANTING AREA

NOTES:	
1.	SEE SHEET L0.10 FOR GENERAL AND SITE NOTES.

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June 28, 2023
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THE UNIVERSITY
OF NORTH CAROLINA
at CHAPEL HILL

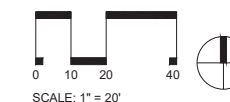
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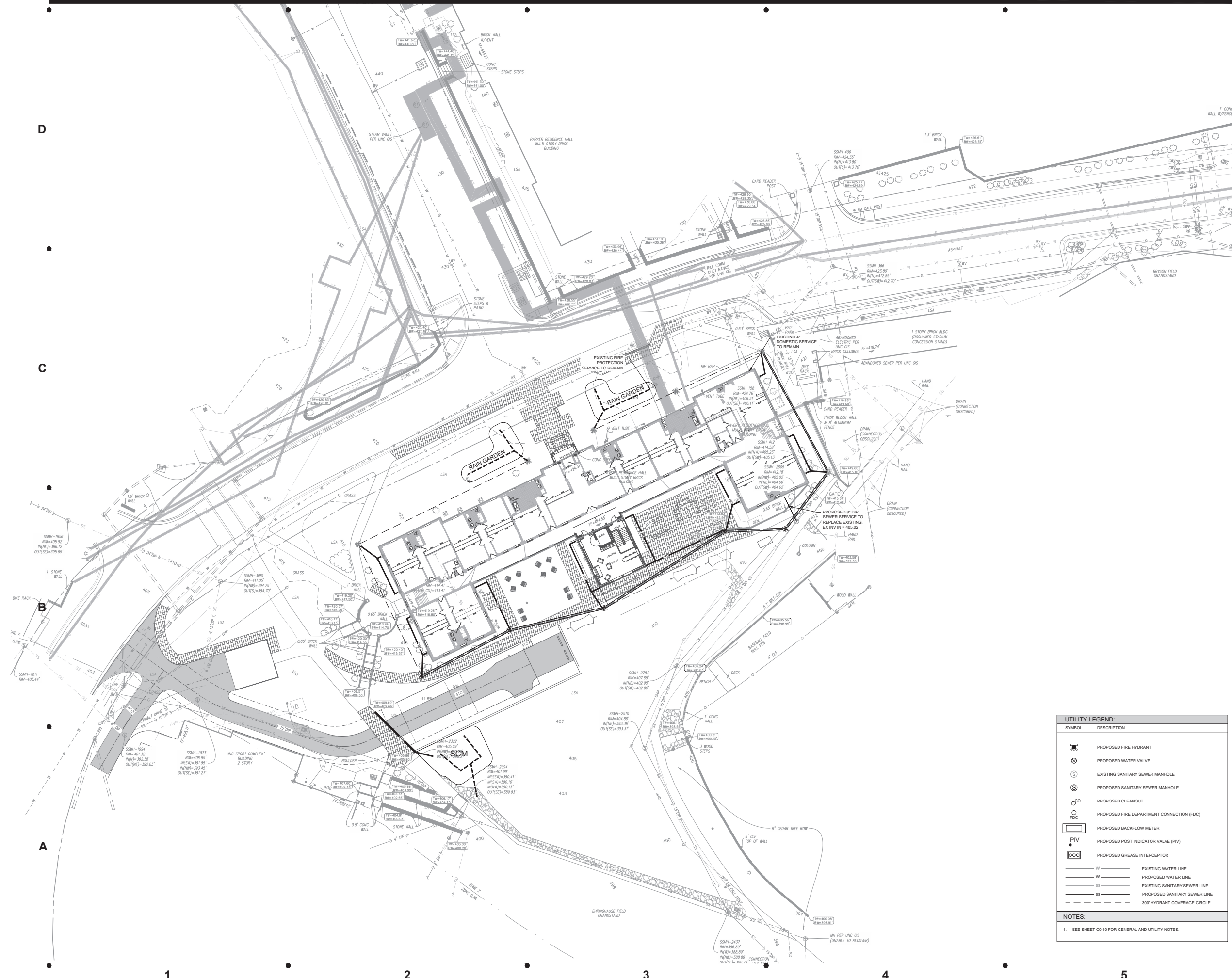
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UTILITY PLAN



SCHEMATIC
DESIGN

C6.00



UTILITY LEGEND:	
SYMBOL	DESCRIPTION
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED CLEANOUT
	PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
	PROPOSED BACKFLOW METER
	PROPOSED POST INDICATOR VALVE (PIV)
	PROPOSED GREASE INTERCEPTOR
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	300' HYDRANT COVERAGE CIRCLE

NOTES:
1. SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.



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**LEVEL 0 DEMOLITION
PLAN**

KEYNOTES - DEMOLITION PLAN	
REV	DESCRIPTION
DE1.1	SLAB ON GRADE TO REMAIN
DE1.2	KEEP EXISTING DOOR, ADD SEAL TO PERIMETER OF FRAME
DE1.3	REMOVE FLOORING, FIELD VERIFY WHICH FLOOR FINISH REMAINS AFTER ABATEMENT
DE1.4	REMOVE FLOORING & DEMO SUBFLOOR FOR NEW SHAF OPENING
DE1.5	REMOVE ALL PLUMBING FIXTURES THIS ROOM. SEE MECHANICAL AND FIELD VERIFY
DE1.6	DEMO EXISTING WINDOW AND/OR DOOR - REPLACE WITH EXTERIOR WALL ASSEMBLY W/ FINISH TO MATCH ADJACENT EXISTING WALL
DE1.7	REMOVE EXISTING WOOD WINDOW AND REPLACE W/ NEW HISTORICAL ALUM. WINDOW - STONE SILLS TO REMAIN. PROVIDE TEMPORARY SUPPORT AT LARGER SILLS
DE1.8	REMOVE EXISTING CEILING, SOFFITS, AND ALL DEVICES - REPLACE WITH NEW CEILING (WHERE APPLICABLE) AS REFERENCED ON PLANS
DE1.9	COORDINATE WITH ABATEMENT CONTRACTOR AT CEILING DEMO THIS ROOM
DE2.1	DEMO EXISTING RAILING FOR NEW OPENING TO ADDITION
DE2.2	DEMO EXTERIOR WALL FOR NEW OPENING - SALVAGE EXISTING BRICK FOR REINSTALLATION. COORDINATE FINAL EXTENT WITH GC AND ARCHITECT
DE2.3	DEMO EXISTING WALL AND ANY DOORS AND/OR WINDOWS WITHIN IT
DE2.4	SALVAGE BUILT INS FOR REINSTALLATION. COORDINATE FINAL EXTENT WITH GC AND ARCHITECT
DE2.5	DEMO EXISTING FASCIA AND EAVE AT GABLE TO ALLOW FOR NEW ADDITION
DE2.6	REMOVE AND RELOCATE HISTORICAL FIXED ROUND WINDOW TO THE GABLE FACE WALL OF THE NEW ADDITION
DE2.7	DEMO EXTERIOR ROOF TO ALLOW FOR OPENING TO NEW DORMER ROOF ADDITION - COORDINATE FINAL EXTENT WITH GC AND ARCHITECT

SYMBOLS LEGEND - DEMOLITION PLAN	
	KEYNOTE
	NEW GRID LINE
	PARTITION OR WALL TO BE DEMOLISHED
	PARTITION OR WALL TO REMAIN
	DOOR, FRAME, AND HARDWARE TO BE DEMOLISHED
	DOOR, FRAME, AND HARDWARE TO REMAIN
	CONSTRUCTION LIMITS
	MATCH LINE
	DASHED LINES INDICATE AN ITEM TO BE REMOVED, UNLESS NOTED OTHERWISE

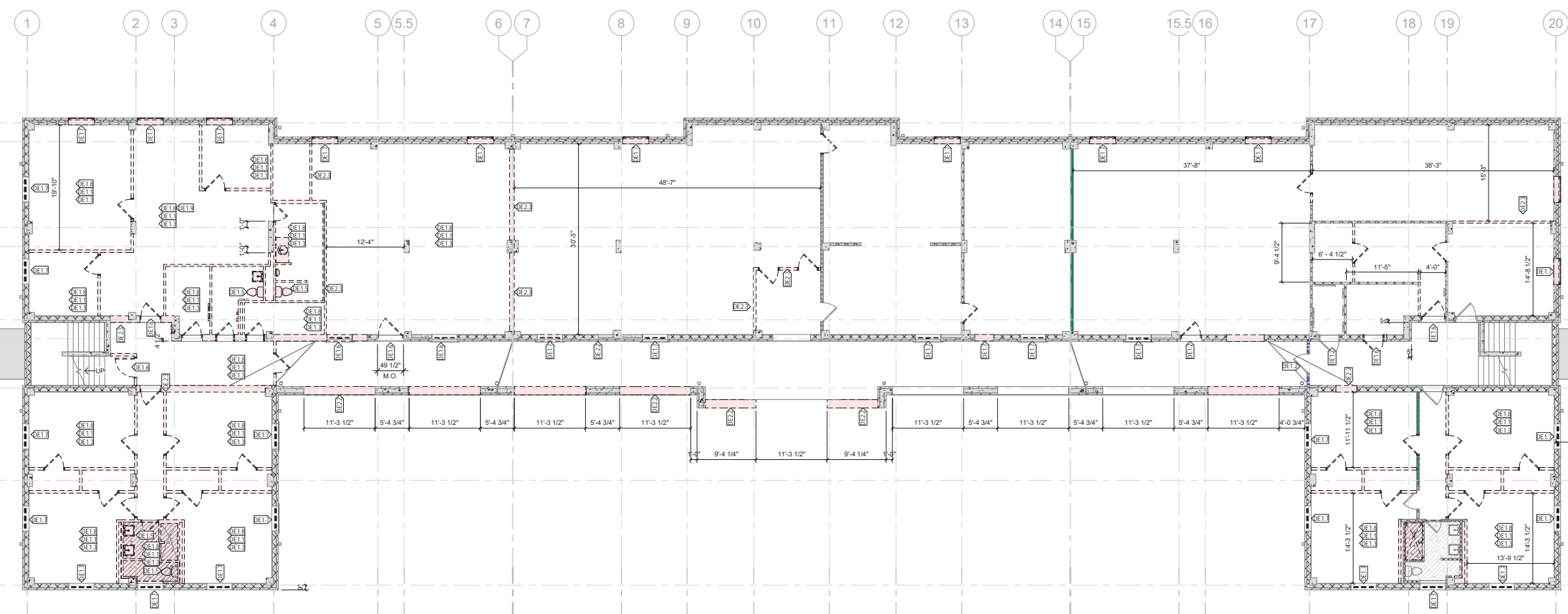
- GENERAL NOTES - DEMOLITION PLAN**
- GENERAL CONTRACTOR SHALL COORDINATE DEMOLITION WORK, PHASING, AND SEQUENCING WITH THE OWNER. ANY INFORMATION REGARDING SEQUENCING PROVIDED IN THESE DOCUMENTS IS FOR ARCHITECT/OWNER PLANNING PURPOSES ONLY UNLESS NOTED OTHERWISE.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH TRADES FOR THE DEMOLITION WORK REQUIRED FOR THIS PROJECT.
 - WHERE PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE PARTITION ALONG WITH ITEMS CONTAINED WITHIN, INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, HARDWARE, SILLLIGHTS, WINDOWS, MECHANICAL, AND ELECTRICAL EQUIPMENT, ETC. TO STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
 - WHERE FLOOR FINISH IS INDICATED TO BE DEMOLISHED, REMOVE FINISH AND PREPARE SURFACE FOR SCHEDULED FINISHES UNLESS NOTED OTHERWISE. SEE FINISH SCHEDULE FOR EXISTING FLOOR FINISHES TO REMAIN UNDISTURBED.
 - WHERE CEILING IS INDICATED TO BE DEMOLISHED REMOVE CEILING ALONG WITH ASSOCIATED MECHANICAL AND ELECTRICAL ITEMS UNLESS NOTED OTHERWISE. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR EXTENT OF CONDUIT, PIPING, AND DUCTWORK DEMOLITION.
 - WHERE INDICATED, REMOVE EXISTING WALL AND PARTITION FINISHES AND PREPARE THE SURFACES FOR FINISHES INDICATED IN THE CONTRACT DOCUMENTS.
 - AREAS DISTURBED/DAMAGED BY DEMOLITION WORK (INCLUDING BUT NOT LIMITED TO: WALLS, PARTITIONS, FLOORS, ETC) SHALL BE PATCHED TO MATCH ADJACENT AREA.
 - OWNER RESERVES THE RIGHT OF FIRST REFUSAL OF SALVAGED ITEMS INCLUDING BUT NOT LIMITED TO: DOORS, LIGHT FIXTURES, PLUMBING FIXTURES, ETC.
 - SALVAGED ITEMS SCHEDULED FOR REUSE SHALL BE CLEANED, RESTORED, AND/OR REFINISHED TO LIKE NEW CONDITION UNLESS NOTED OTHERWISE.
 - DO NOT REMOVE EXISTING STRUCTURAL SUPPORT MEMBERS INCLUDING BUT NOT LIMITED TO: COLUMNS, BEAMS, JOISTS, LOAD-BEARING PARTITIONS, ETC. UNTIL ADEQUATE PERMANENT OR TEMPORARY SUPPORT IS IN PLACE. EXISTING STRUCTURAL MEMBERS SHALL BE ADEQUATELY PROTECTED, COORDINATE WITH STRUCTURAL ENGINEER AND ARCHITECT.
 - SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR RELATED DEMOLITION AND PREP WORK.
 - WALL AND CEILING MOUNTED ITEMS SHOWN DASHED INCLUDING BUT NOT LIMITED TO: WALL CABINETS, SHELVING, CUBICLE CURTAIN TRACKS, PROJECTION SCREENS, ETC. SHALL BE REMOVED, UNLESS NOTED OTHERWISE.

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A1 LEVEL 0 DEMOLITION PLAN
1/8" = 1'-0"



June 28th, 2023
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**AVERY
RESIDENCE HALL
RENOVATION**

TAG DESCRIPTION DATE

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**LEVEL 1 DEMOLITION
PLAN**

**SCHEMATIC
DESIGN
AD101**

KEYNOTES - DEMOLITION PLAN	
REV	NOTE: NOT ALL KEYNOTES MAY BE USED ON EACH DRAWING
DE1.1	SLAB ON GRADE TO REMAIN
DE1.2	KEEP EXISTING DOOR, ADD SEAL TO PERIMETER OF FRAME
DE1.3	REMOVE FLOORING, FIELD VERIFY WHICH FLOOR FINISH REMAINS AFTER ABATEMENT
DE1.4	REMOVE FLOORING & DEMO SUBFLOOR FOR NEW SHAFI OPENING
DE1.5	REMOVE ALL PLUMBING FIXTURES THIS ROOM. SEE MECHANICAL AND FIELD VERIFY
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SYMBOLS LEGEND - DEMOLITION PLAN	
	KEYNOTE
	NEW GRID LINE
	PARTITION OR WALL TO BE DEMOLISHED
	PARTITION OR WALL TO REMAIN
	DOOR, FRAME, AND HARDWARE TO BE DEMOLISHED
	DOOR, FRAME, AND HARDWARE TO REMAIN
	CONSTRUCTION LIMITS
	MATCH LINE
	DASHED LINES INDICATE AN ITEM TO BE REMOVED, UNLESS NOTED OTHERWISE

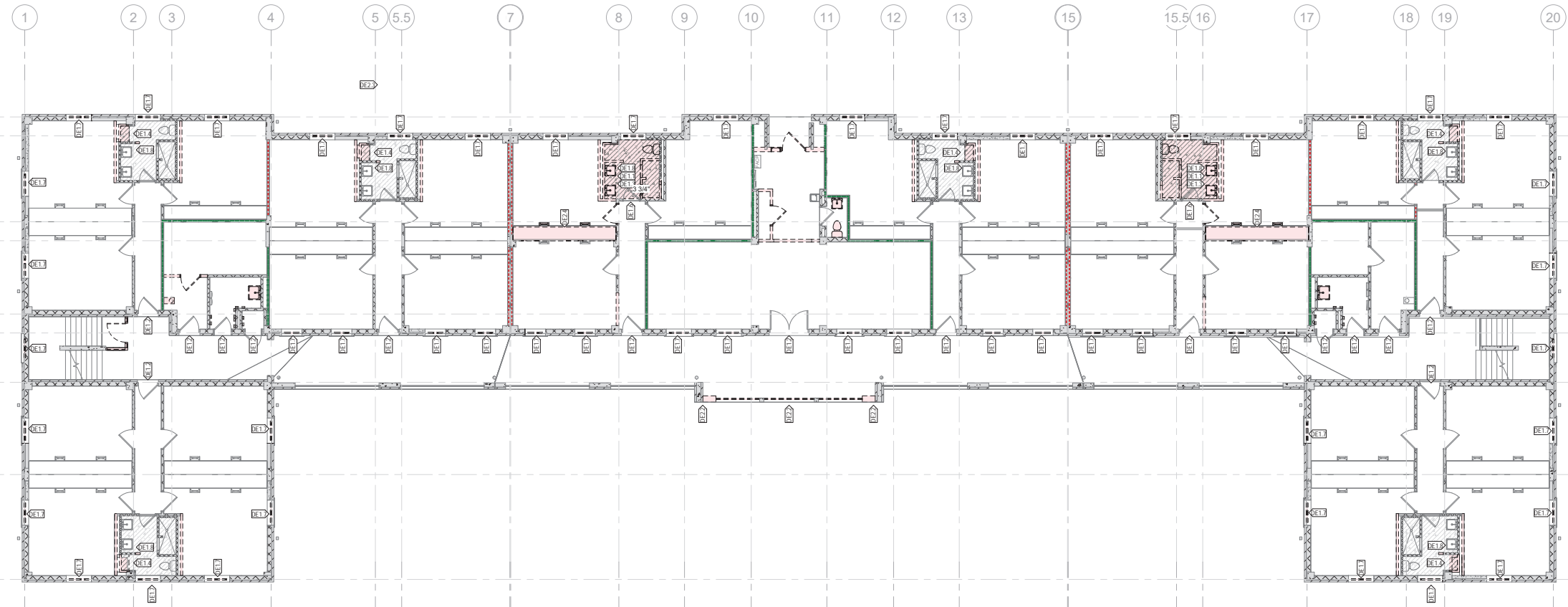
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 - WHERE FLOOR FINISH IS INDICATED TO BE DEMOLISHED, REMOVE FINISH AND PREPARE SURFACE FOR SCHEDULED FINISHES UNLESS NOTED OTHERWISE. SEE FINISH SCHEDULE FOR EXISTING FLOOR FINISHES TO REMAIN UNDISTURBED.
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D

C

B

A



A1 LEVEL 1 DEMOLITION PLAN
1/8" = 1'-0"



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RESIDENCE HALL
RENOVATION**

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Project: 20UNC131
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**LEVEL 2 DEMOLITION
PLAN**

**SCHEMATIC
DESIGN
AD102**

KEYNOTES - DEMOLITION PLAN	
REV	DESCRIPTION
DE1.1	SLAB ON GRADE TO REMAIN
DE1.2	KEEP EXISTING DOOR, ADD SEAL TO PERIMETER OF FRAME
DE1.3	REMOVE FLOORING, FIELD VERIFY WHICH FLOOR FINISH REMAINS AFTER ABATEMENT
DE1.4	REMOVE FLOORING & DEMO SUBFLOOR FOR NEW SHAFI OPENING
DE1.5	REMOVE ALL PLUMBING FIXTURES THIS ROOM. SEE MECHANICAL AND FIELD VERIFY
DE1.6	DEMO EXISTING WINDOW AND/OR DOOR - REPLACE WITH EXTERIOR WALL ASSEMBLY W/ FINISH TO MATCH ADJACENT EXISTING WALL
DE1.7	REMOVE EXISTING WOOD WINDOW AND REPLACE W/ NEW HISTORICAL ALUM. WINDOW - STONE SILLS TO REMAIN. PROVIDE TEMPORARY SUPPORT AT LARGER SILLS
DE1.8	REMOVE EXISTING CEILING, SOFFITS, AND ALL DEVICES - REPLACE WITH NEW CEILING (WHERE APPLICABLE) AS REFERENCED ON PLANS
DE1.9	COORDINATE WITH ABATEMENT CONTRACTOR AT CEILING DEMO THIS ROOM
DE2.1	DEMO EXISTING RAILING FOR NEW OPENING TO ADDITION
DE2.2	DEMO EXTERIOR WALL FOR NEW OPENING - SALVAGE EXISTING BRICK FOR REINSTALLATION. COORDINATE FINAL EXTENT WITH GC AND ARCHITECT
DE2.3	DEMO EXISTING WALL AND ANY DOORS AND/OR WINDOWS WITHIN IT
DE2.4	SALVAGE BUILT INS FOR REINSTALLATION. COORDINATE FINAL EXTENT WITH GC AND ARCHITECT
DE2.5	DEMO EXISTING FASCIA AND EAVE AT GABLE TO ALLOW FOR NEW ADDITION
DE2.6	REMOVE AND RELOCATE HISTORICAL FIXED ROUND WINDOW TO THE GABLE FACE WALL OF THE NEW ADDITION
DE2.7	DEMO EXTERIOR ROOF TO ALLOW FOR OPENING TO NEW DORMER ROOF ADDITION - COORDINATE FINAL EXTENT WITH GC AND ARCHITECT

SYMBOLS LEGEND - DEMOLITION PLAN	
	KEYNOTE
	NEW GRID LINE
	PARTITION OR WALL TO BE DEMOLISHED
	PARTITION OR WALL TO REMAIN
	DOOR, FRAME, AND HARDWARE TO BE DEMOLISHED
	DOOR, FRAME, AND HARDWARE TO REMAIN
	CONSTRUCTION LIMITS
	MATCH LINE
	DASHED LINES INDICATE AN ITEM TO BE REMOVED, UNLESS NOTED OTHERWISE

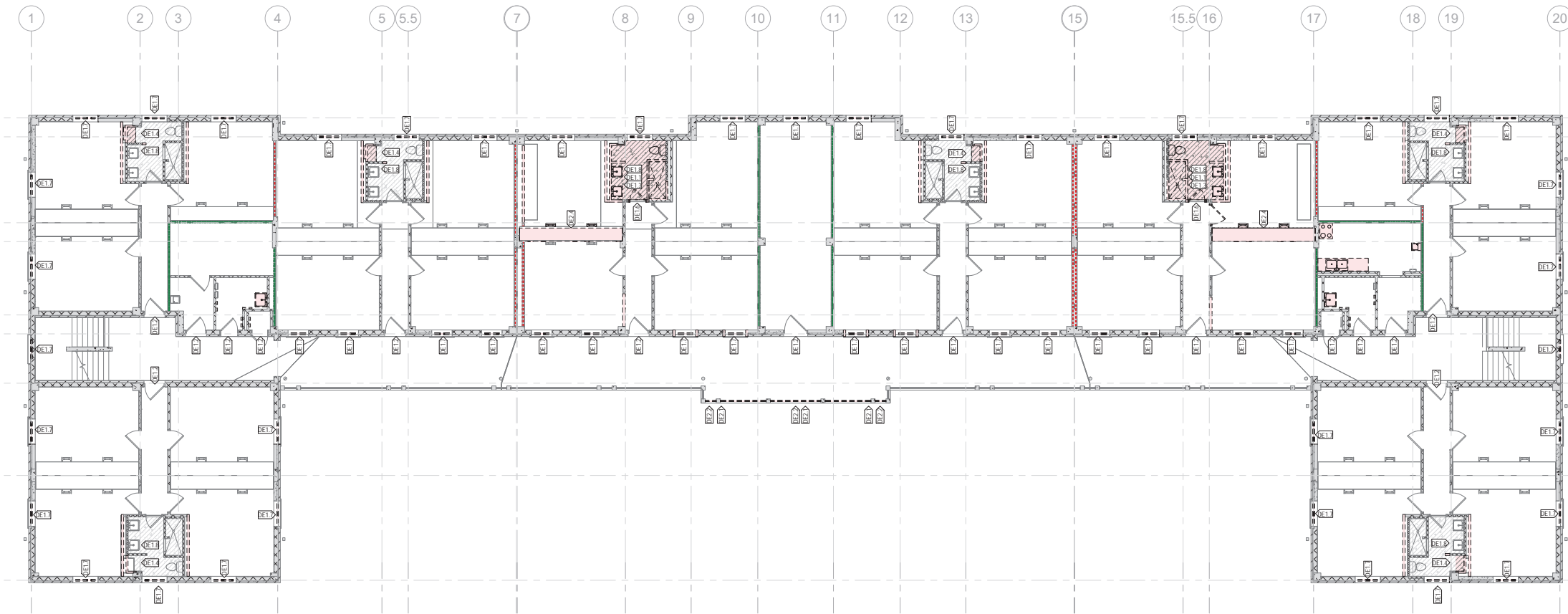
- GENERAL NOTES - DEMOLITION PLAN**
- GENERAL CONTRACTOR SHALL COORDINATE DEMOLITION WORK, PHASING, AND SEQUENCING WITH THE OWNER. ANY INFORMATION REGARDING SEQUENCING PROVIDED IN THESE DOCUMENTS IS FOR ARCHITECT/OWNER PLANNING PURPOSES ONLY UNLESS NOTED OTHERWISE.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH TRADES FOR THE DEMOLITION WORK REQUIRED FOR THIS PROJECT.
 - WHERE PARTITIONS ARE INDICATED TO BE REMOVED, REMOVE PARTITION ALONG WITH ITEMS CONTAINED WITHIN, INCLUDING BUT NOT LIMITED TO DOORS, FRAMES, HARDWARE, SILL/SOFFITS, WINDOWS, MECHANICAL, AND ELECTRICAL EQUIPMENT, ETC. TO STRUCTURE ABOVE UNLESS NOTED OTHERWISE.
 - WHERE FLOOR FINISH IS INDICATED TO BE DEMOLISHED, REMOVE FINISH AND PREPARE SURFACE FOR SCHEDULED FINISHES UNLESS NOTED OTHERWISE. SEE FINISH SCHEDULE FOR EXISTING FLOOR FINISHES TO REMAIN UNDISTURBED.
 - WHERE CEILING IS INDICATED TO BE DEMOLISHED REMOVE CEILING ALONG WITH ASSOCIATED MECHANICAL AND ELECTRICAL ITEMS UNLESS NOTED OTHERWISE. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR EXTENT OF CONDUIT, PIPING, AND DUCTWORK DEMOLITION.
 - WHERE INDICATED, REMOVE EXISTING WALL AND PARTITION FINISHES AND PREPARE THE SURFACES FOR FINISHES INDICATED IN THE CONTRACT DOCUMENTS.
 - AREAS DISTURBED/DAMAGED BY DEMOLITION WORK (INCLUDING BUT NOT LIMITED TO: WALLS, PARTITIONS, FLOORS, ETC.) SHALL BE PATCHED TO MATCH ADJACENT AREA.
 - OWNER RESERVES THE RIGHT OF FIRST REFUSAL OF SALVAGED ITEMS INCLUDING BUT NOT LIMITED TO: DOORS, LIGHT FIXTURES, PLUMBING FIXTURES, ETC.
 - SALVAGED ITEMS SCHEDULED FOR REUSE SHALL BE CLEANED, RESTORED, AND/OR REFINISHED TO LIKE NEW CONDITION UNLESS NOTED OTHERWISE.
 - DO NOT REMOVE EXISTING STRUCTURAL SUPPORT MEMBERS INCLUDING BUT NOT LIMITED TO: COLUMNS, BEAMS, JOISTS, LOAD-BEARING PARTITIONS, ETC. UNTIL ADEQUATE PERMANENT OR TEMPORARY SUPPORT IS IN PLACE. EXISTING STRUCTURAL MEMBERS SHALL BE ADEQUATELY PROTECTED, COORDINATE WITH STRUCTURAL ENGINEER AND ARCHITECT.
 - SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR RELATED DEMOLITION AND PREP WORK.
 - WALL AND CEILING MOUNTED ITEMS SHOWN DASHED INCLUDING BUT NOT LIMITED TO: WALL CABINETS, SHELVING, CUBICLE CURTAIN TRACKS, PROJECTION SCREENS, ETC. SHALL BE REMOVED, UNLESS NOTED OTHERWISE.

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A1 LEVEL 2 DEMOLITION PLAN
1/8" = 1'-0"



June 28th, 2023
NOT FOR CONSTRUCTION



THE UNIVERSITY
OF NORTH CAROLINA
at CHAPEL HILL

**AVERY
RESIDENCE HALL
RENOVATION**

TAG DESCRIPTION DATE

Project: 20UNC131
SCO ID: 20-21580-04A
Drawn By: Author
Checked By: Checker
Date: June 28th, 2023
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**LEVEL 3 DEMOLITION
PLAN**

**SCHEMATIC
DESIGN**

AD103

KEYNOTES - DEMOLITION PLAN	
REV	NOTE: NOT ALL KEYNOTES MAY BE USED ON EACH DRAWING
DE1.1	SLAB ON GRADE TO REMAIN
DE1.2	KEEP EXISTING DOOR, ADD SEAL TO PERIMETER OF FRAME
DE1.3	REMOVE FLOORING, FIELD VERIFY WHICH FLOOR FINISH REMAINS AFTER ABATEMENT
DE1.4	REMOVE FLOORING & DEMO SUBFLOOR FOR NEW SHAF OPENING
DE1.5	REMOVE ALL PLUMBING FIXTURES THIS ROOM. SEE MECHANICAL AND FIELD VERIFY
DE1.6	DEMO EXISTING WINDOW AND/OR DOOR - REPLACE WITH EXTERIOR WALL ASSEMBLY W/ FINISH TO MATCH ADJACENT EXISTING WALL
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DE2.7	DEMO EXTERIOR ROOF TO ALLOW FOR OPENING TO NEW DORMER ROOF ADDITION - COORDINATE FINAL EXTENT WITH GC AND ARCHITECT

SYMBOLS LEGEND - DEMOLITION PLAN	
	KEYNOTE
	NEW GRID LINE
	PARTITION OR WALL TO BE DEMOLISHED
	PARTITION OR WALL TO REMAIN
	DOOR, FRAME, AND HARDWARE TO BE DEMOLISHED
	DOOR, FRAME, AND HARDWARE TO REMAIN
	CONSTRUCTION LIMITS
	MATCH LINE
	DASHED LINES INDICATE AN ITEM TO BE REMOVED, UNLESS NOTED OTHERWISE

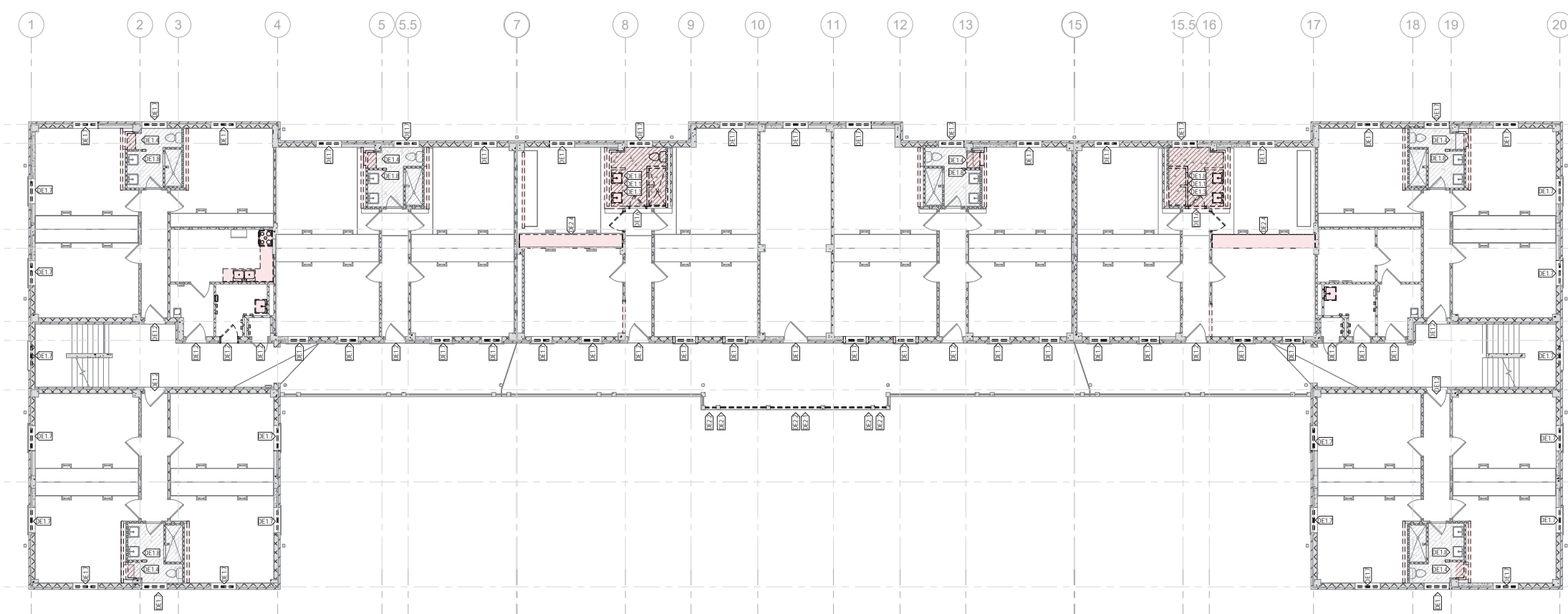
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A1 LEVEL 3 DEMOLITION PLAN
1/8" = 1'-0"



June 28th, 2023
NOT FOR CONSTRUCTION



THE UNIVERSITY
OF NORTH CAROLINA
at CHAPEL HILL

**AVERY
RESIDENCE HALL
RENOVATION**

TAG DESCRIPTION DATE

Project: 20UNC131
SCO ID: 20-21580-04A
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**LEVEL 4 DEMOLITION
PLAN**

**SCHEMATIC
DESIGN**

AD104

KEYNOTES - DEMOLITION PLAN	
REV	DESCRIPTION
NOTE: NOT ALL KEYNOTES MAY BE USED ON EACH DRAWING	
DE1.1	SLAB ON GRADE TO REMAIN
DE1.2	KEEP EXISTING DOOR, ADD SEAL TO PERIMETER OF FRAME
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DE1.4	REMOVE FLOORING & DEMO SUBFLOOR FOR NEW SHAF T OPENING
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DE2.3	DEMO EXISTING WALL AND ANY DOORS AND/OR WINDOWS WITHIN IT
DE2.4	SALVAGE BUILT INS FOR REINSTALLATION. COORDINATE FINAL EXTENT WITH GC AND ARCHITECT.
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SYMBOLS LEGEND - DEMOLITION PLAN	
	KEYNOTE
	NEW GRID LINE
	PARTITION OR WALL TO BE DEMOLISHED
	PARTITION OR WALL TO REMAIN
	DOOR, FRAME, AND HARDWARE TO BE DEMOLISHED
	DOOR, FRAME, AND HARDWARE TO REMAIN
	CONSTRUCTION LIMITS
	MATCH LINE
	DASHED LINES INDICATE AN ITEM TO BE REMOVED, UNLESS NOTED OTHERWISE

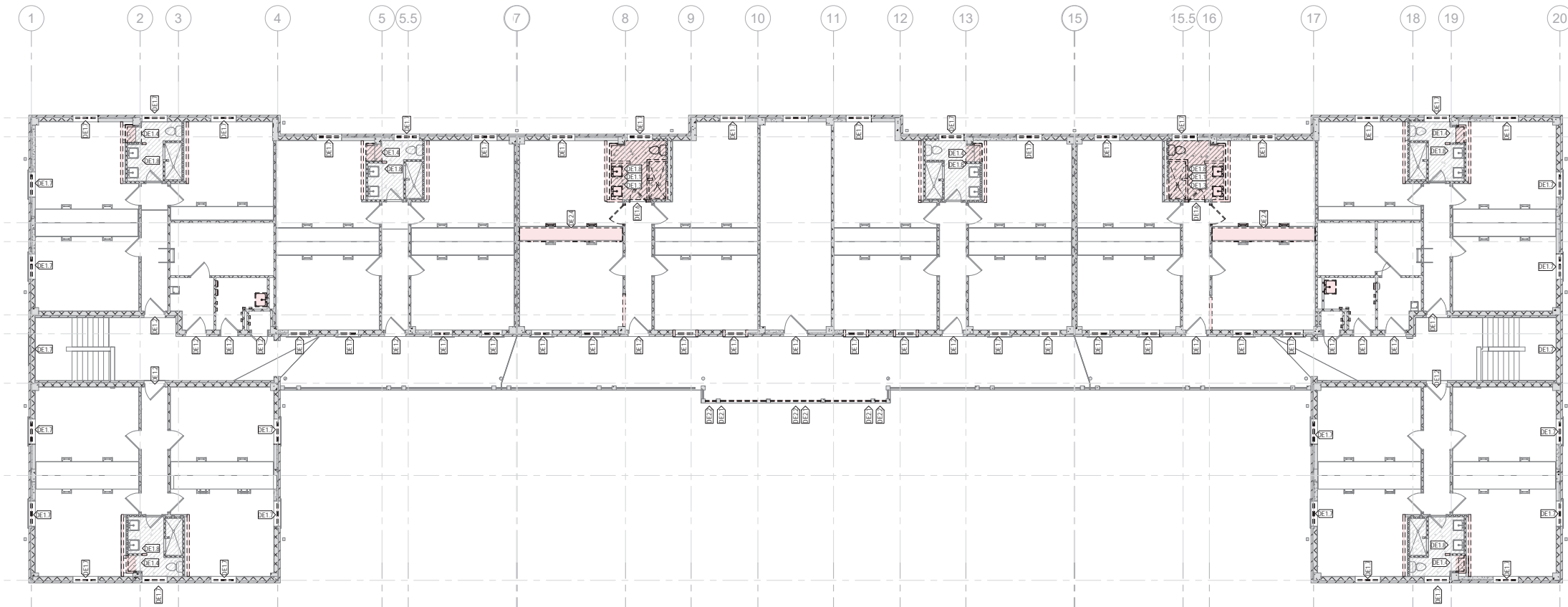
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A1 LEVEL 4 DEMOLITION PLAN
1/8" = 1'-0"



June 28th, 2023
NOT FOR CONSTRUCTION



**EVERY
RESIDENCE HALL
RENOVATION**

TAG DESCRIPTION DATE

Project: 20UNC131
SCO ID: 20-21580-04A
Drawn By: Author
Checked By: Checker
Date: June 28th, 2023
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**ROOF DEMOLITION
PLAN**

**SCHEMATIC
DESIGN
AD105**

KEYNOTES - DEMOLITION PLAN	
REV	DESCRIPTION
NOTE: NOT ALL KEYNOTES MAY BE USED ON EACH DRAWING	
DE1.1	SLAB ON GRADE TO REMAIN
DE1.2	KEEP EXISTING DOOR, ADD SEAL TO PERIMETER OF FRAME
DE1.3	REMOVE FLOORING, FIELD VERIFY WHICH FLOOR FINISH REMAINS AFTER ABATEMENT
DE1.4	REMOVE FLOORING & DEMO SUBFLOOR FOR NEW SHAF OPENING
DE1.5	REMOVE ALL PLUMBING FIXTURES THIS ROOM, SEE MECHANICAL AND FIELD VERIFY
DE1.6	DEMO EXISTING WINDOW AND/OR DOOR - REPLACE WITH EXTERIOR WALL ASSEMBLY W FINISH TO MATCH ADJACENT EXISTING WALL
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DE2.3	DEMO EXISTING WALL AND ANY DOORS AND/OR WINDOWS WITHIN IT
DE2.4	SALVAGE BUILT INS FOR REINSTALLATION, COORDINATE FINAL EXTENT WITH GC AND ARCHITECT
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DE2.6	REMOVE AND RELOCATE HISTORICAL FIXED ROUND WINDOW TO THE GABLE FACE WALL OF THE NEW ADDITION
DE2.7	DEMO EXTERIOR ROOF TO ALLOW FOR OPENING TO NEW DORMER ROOF ADDITION - COORDINATE FINAL EXTENT WITH GC AND ARCHITECT

SYMBOLS LEGEND - DEMOLITION PLAN	
	KEYNOTE
	NEW GRID LINE
	PARTITION OR WALL TO BE DEMOLISHED
	PARTITION OR WALL TO REMAIN
	DOOR, FRAME, AND HARDWARE TO BE DEMOLISHED
	DOOR, FRAME, AND HARDWARE TO REMAIN
	CONSTRUCTION LIMITS
	MATCH LINE
	DASHED LINES INDICATE AN ITEM TO BE REMOVED, UNLESS NOTED OTHERWISE

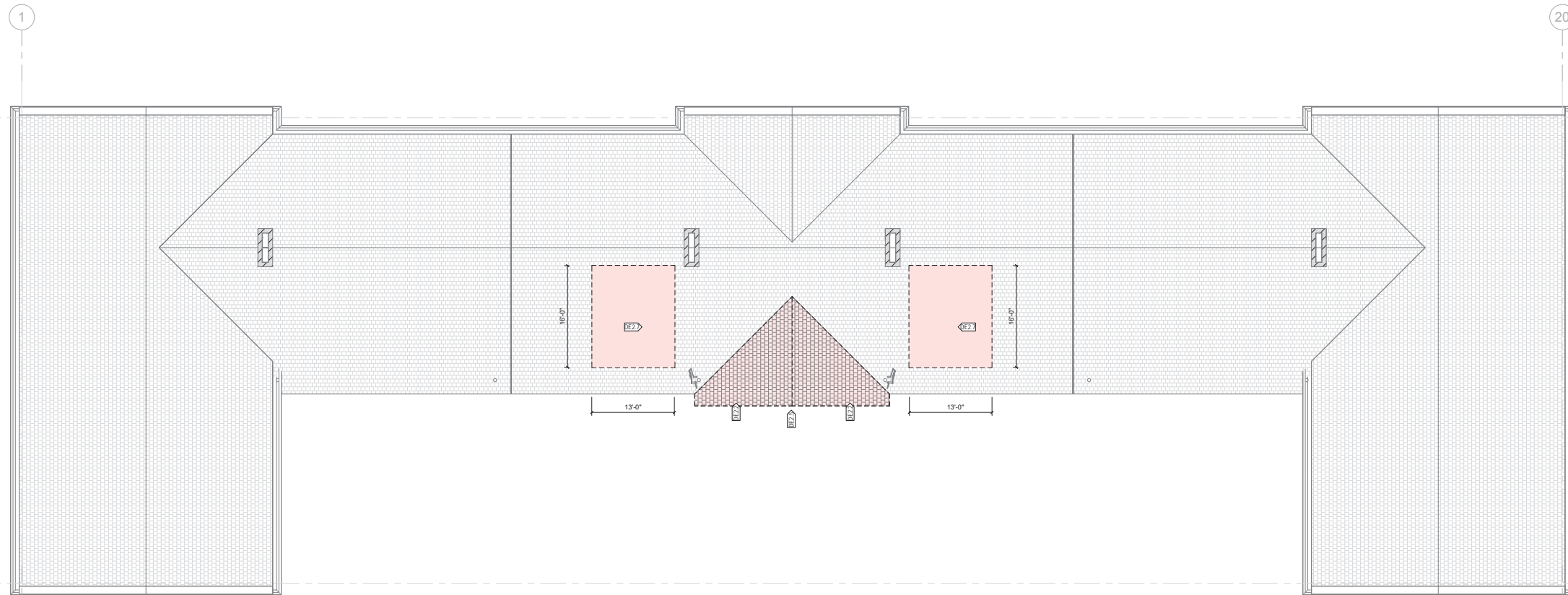
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A1 ROOF DEMOLITION PLAN
1/8" = 1'-0"



June 28th, 2023
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THE UNIVERSITY
OF NORTH CAROLINA
at CHAPEL HILL

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RENOVATION**

TAG DESCRIPTION DATE

Project: 20UNC131
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**LEVEL 0 DEMOLITION
RCP**

**SCHEMATIC
DESIGN**

AD120

KEYNOTES - DEMOLITION PLAN	
REV	DESCRIPTION
NOTE: NOT ALL KEYNOTES MAY BE USED ON EACH DRAWING	
DE1.1	SLAB ON GRADE TO REMAIN
DE1.2	KEEP EXISTING DOOR, ADD SEAL TO PERIMETER OF FRAME
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SYMBOLS LEGEND - DEMOLITION PLAN	
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	NEW GRID LINE
	PARTITION OR WALL TO BE DEMOLISHED
	PARTITION OR WALL TO REMAIN
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	MATCH LINE
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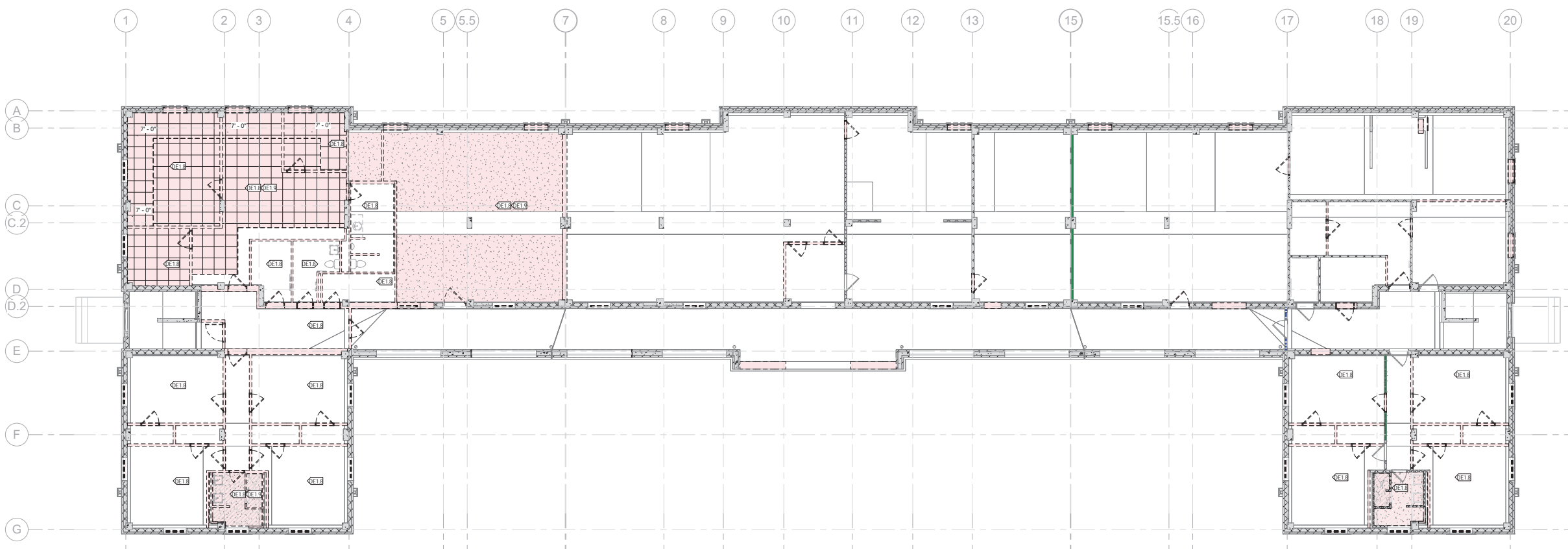
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 - OWNER RESERVES THE RIGHT OF FIRST REFUSAL OF SALVAGED ITEMS INCLUDING BUT NOT LIMITED TO: DOORS, LIGHT FIXTURES, PLUMBING FIXTURES, ETC.
 - SALVAGED ITEMS SCHEDULED FOR REUSE SHALL BE CLEANED, RESTORED, AND/OR REFINISHED TO LIKE NEW CONDITION UNLESS NOTED OTHERWISE.
 - DO NOT REMOVE EXISTING STRUCTURAL SUPPORT MEMBERS INCLUDING BUT NOT LIMITED TO: COLUMNS, BEAMS, JOISTS, LOAD-BEARING PARTITIONS, ETC. UNTIL ADEQUATE PERMANENT OR TEMPORARY SUPPORT IS IN PLACE. EXISTING STRUCTURAL MEMBERS SHALL BE ADEQUATELY PROTECTED, COORDINATE WITH STRUCTURAL ENGINEER AND ARCHITECT.
 - SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR RELATED DEMOLITION AND PREP WORK.
 - WALL AND CEILING MOUNTED ITEMS SHOWN DASHED INCLUDING BUT NOT LIMITED TO: WALL CABINETS, SHELVING, CUBICLE CURTAIN TRACKS, PROJECTION SCREENS, ETC. SHALL BE REMOVED, UNLESS NOTED OTHERWISE.

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A1 LEVEL 0 DEMOLITION CEILING PLAN
1/8" = 1'-0"



June 28th, 2023
NOT FOR CONSTRUCTION



THE UNIVERSITY
OF NORTH CAROLINA
at CHAPEL HILL

**AVERY
RESIDENCE HALL
RENOVATION**

TAG DESCRIPTION DATE

Project: 20UNC131
SCO ID: 20-21580-04A
Drawn By: Author
Checked By: Checker
Date: June 28th, 2023
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**LEVEL 1 DEMOLITION
RCP**

KEYNOTES - DEMOLITION PLAN	
REV	NOTE: NOT ALL KEYNOTES MAY BE USED ON EACH DRAWING
DE1.1	SLAB ON GRADE TO REMAIN
DE1.2	KEEP EXISTING DOOR, ADD SEAL TO PERIMETER OF FRAME
DE1.3	REMOVE FLOORING, FIELD VERIFY WHICH FLOOR FINISH REMAINS AFTER ABATEMENT
DE1.4	REMOVE FLOORING & DEMO SUBFLOOR FOR NEW SHIRT OPENING
DE1.5	REMOVE ALL PLUMBING FIXTURES THIS ROOM. SEE MECHANICAL AND FIELD VERIFY
DE1.6	DEMO EXISTING WINDOW AND/OR DOOR - REPLACE WITH EXTERIOR WALL ASSEMBLY W/ FINISH TO MATCH ADJACENT EXISTING WALL
DE1.7	REMOVE EXISTING WOOD WINDOW AND REPLACE W/ NEW HISTORICAL ALUM. WINDOW - STONE SILLS TO REMAIN. PROVIDE TEMPORARY SUPPORT AT LARGER SILLS.
DE1.8	REMOVE EXISTING CEILING, SOFFITS, AND ALL DEVICES - REPLACE WITH NEW CEILING (WHERE APPLICABLE) AS REFERENCED ON PLANS
DE1.9	COORDINATE WITH ABATEMENT CONTRACTOR AT CEILING DEMO THIS ROOM
DE2.1	DEMO EXISTING RAILING FOR NEW OPENING TO ADDITION
DE2.2	DEMO EXTERIOR WALL FOR NEW OPENING - SALVAGE EXISTING BRICK FOR REINSTALLATION. COORDINATE FINAL EXTENT WITH GC AND ARCHITECT.
DE2.3	DEMO EXISTING WALL AND ANY DOORS AND/OR WINDOWS WITHIN IT
DE2.4	SALVAGE BUILT-INS FOR REINSTALLATION. COORDINATE FINAL EXTENT WITH GC AND ARCHITECT.
DE2.5	DEMO EXISTING FASCIA AND EAVE AT GABLE TO ALLOW FOR NEW ADDITION
DE2.6	REMOVE AND RELOCATE HISTORICAL FIXED ROUND WINDOW TO THE GABLE FACE WALL OF THE NEW ADDITION.
DE2.7	DEMO EXTERIOR ROOF TO ALLOW FOR OPENING TO NEW DORMER ROOF ADDITION - COORDINATE FINAL EXTENT WITH GC AND ARCHITECT.

SYMBOLS LEGEND - DEMOLITION PLAN	
	KEYNOTE
	NEW GRID LINE
	PARTITION OR WALL TO BE DEMOLISHED
	PARTITION OR WALL TO REMAIN
	DOOR, FRAME, AND HARDWARE TO BE DEMOLISHED
	DOOR, FRAME, AND HARDWARE TO REMAIN
	CONSTRUCTION LIMITS
	MATCH LINE
	DASHED LINES INDICATE AN ITEM TO BE REMOVED, UNLESS NOTED OTHERWISE

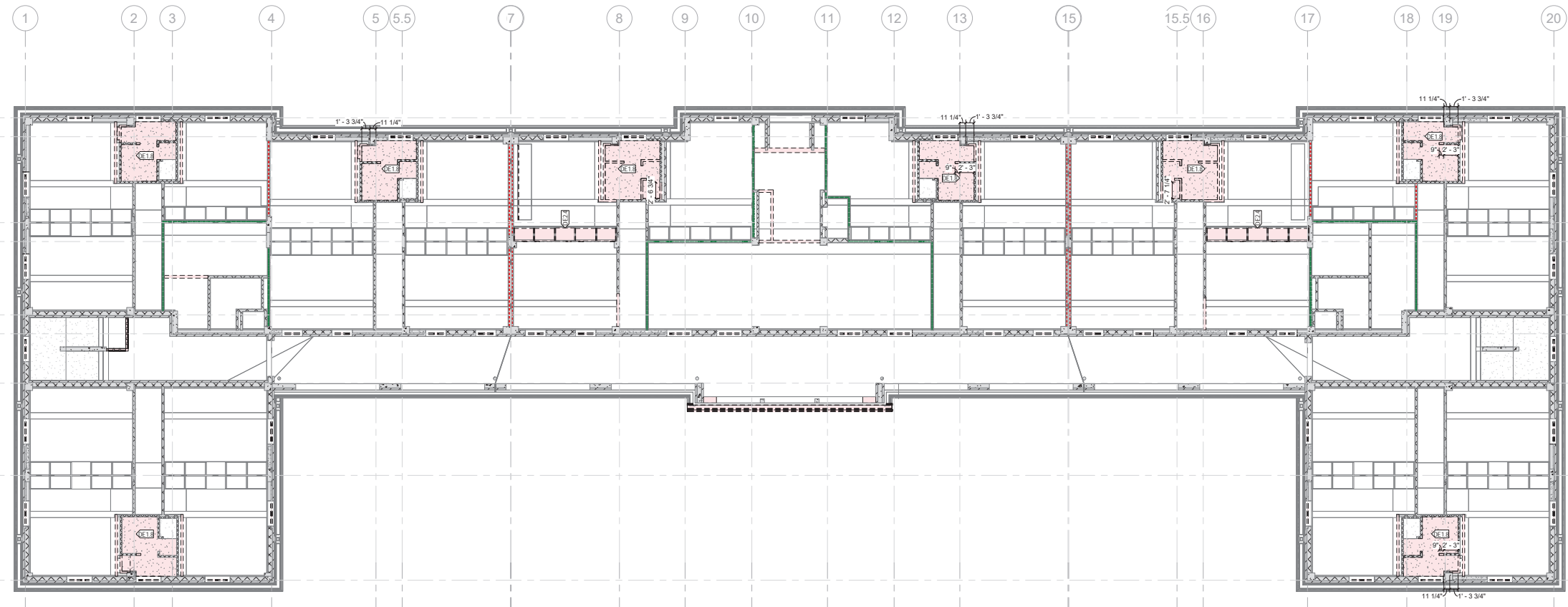
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 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH TRADES FOR THE DEMOLITION WORK REQUIRED FOR THIS PROJECT.
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 - WHERE FLOOR FINISH IS INDICATED TO BE DEMOLISHED, REMOVE FINISH AND PREPARE SURFACE FOR SCHEDULED FINISHES UNLESS NOTED OTHERWISE. SEE FINISH SCHEDULE FOR EXISTING FLOOR FINISHES TO REMAIN UNDISTURBED.
 - WHERE CEILING IS INDICATED TO BE DEMOLISHED REMOVE CEILING ALONG WITH ASSOCIATED MECHANICAL AND ELECTRICAL ITEMS UNLESS NOTED OTHERWISE. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR EXTENT OF CONDUIT, PIPING, AND DUCTWORK DEMOLITION.
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A1 LEVEL 1 DEMOLITION CEILING PLAN
1/8" = 1'-0"



June 28th, 2023
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THE UNIVERSITY
OF NORTH CAROLINA
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**LEVEL 2 DEMOLITION
RCP**

**SCHEMATIC
DESIGN**

AD122

KEYNOTES - DEMOLITION PLAN	
REV	DESCRIPTION
NOTE: NOT ALL KEYNOTES MAY BE USED ON EACH DRAWING	
DE1.1	SLAB ON GRADE TO REMAIN
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DE1.4	REMOVE FLOORING & DEMO SUBFLOOR FOR NEW SHIRT OPENING
DE1.5	REMOVE ALL PLUMBING FIXTURES THIS ROOM. SEE MECHANICAL AND FIELD VERIFY
DE1.6	DEMO EXISTING WINDOW AND/OR DOOR - REPLACE WITH EXTERIOR WALL ASSEMBLY W/ FINISH TO MATCH ADJACENT EXISTING WALL
DE1.7	REMOVE EXISTING WOOD WINDOW AND REPLACE W/ NEW HISTORICAL ALUM. WINDOW - STONE SILLS TO REMAIN. PROVIDE TEMPORARY SUPPORT AT LARGER SILLS.
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SYMBOLS LEGEND - DEMOLITION PLAN	
	KEYNOTE
	NEW GRID LINE
	PARTITION OR WALL TO BE DEMOLISHED
	PARTITION OR WALL TO REMAIN
	DOOR, FRAME, AND HARDWARE TO BE DEMOLISHED
	DOOR, FRAME, AND HARDWARE TO REMAIN
	CONSTRUCTION LIMITS
	MATCH LINE
	DASHED LINES INDICATE AN ITEM TO BE REMOVED, UNLESS NOTED OTHERWISE

NOTE: NOT ALL SYMBOLS MAY BE USED ON EACH PLAN

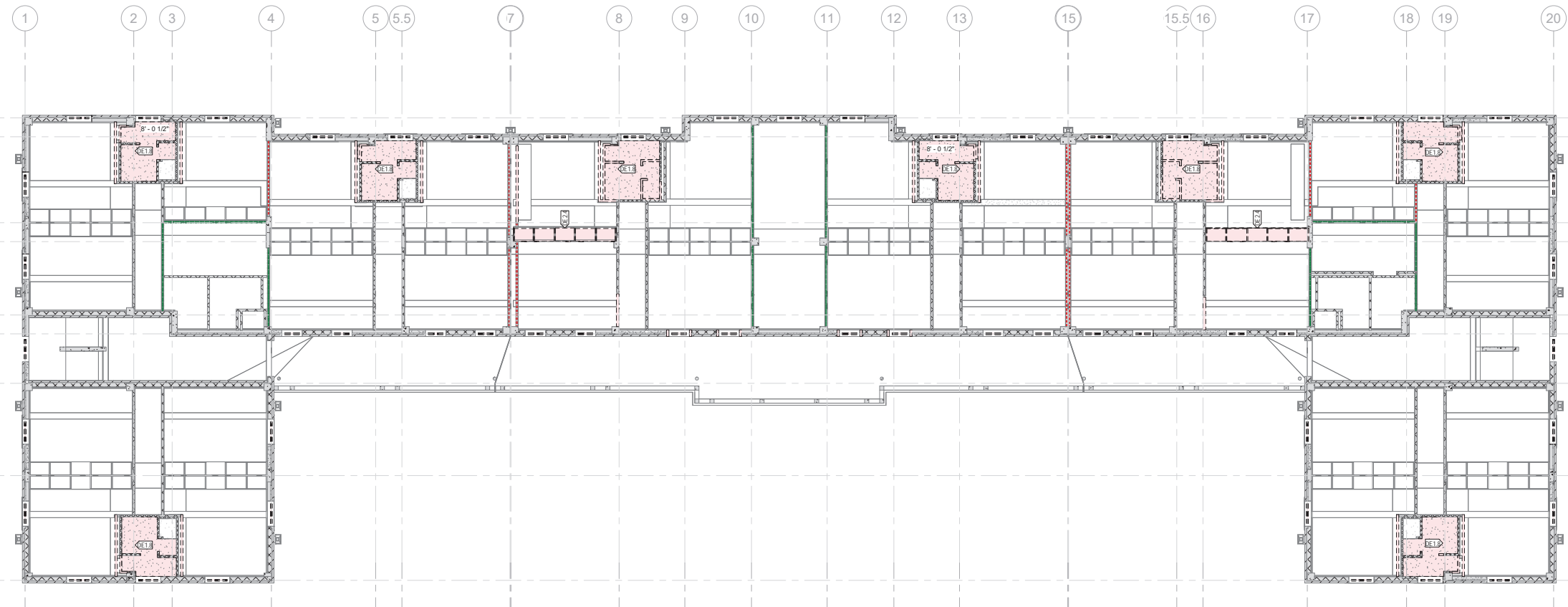
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A1 LEVEL 2 DEMOLITION CEILING PLAN



June 28th, 2023
NOT FOR CONSTRUCTION



THE UNIVERSITY
OF NORTH CAROLINA
at CHAPEL HILL

**AVERY
RESIDENCE HALL
RENOVATION**

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**LEVEL 3 DEMOLITION
RCP**

**SCHEMATIC
DESIGN**

AD123

KEYNOTES - DEMOLITION PLAN	
REV	DESCRIPTION
NOTE: NOT ALL KEYNOTES MAY BE USED ON EACH DRAWING	
DE1.1	SLAB ON GRADE TO REMAIN
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SYMBOLS LEGEND - DEMOLITION PLAN	
	KEYNOTE
	NEW GRID LINE
	PARTITION OR WALL TO BE DEMOLISHED
	PARTITION OR WALL TO REMAIN
	DOOR, FRAME, AND HARDWARE TO BE DEMOLISHED
	DOOR, FRAME, AND HARDWARE TO REMAIN
	CONSTRUCTION LIMITS
	MATCH LINE
	DASHED LINES INDICATE AN ITEM TO BE REMOVED, UNLESS NOTED OTHERWISE

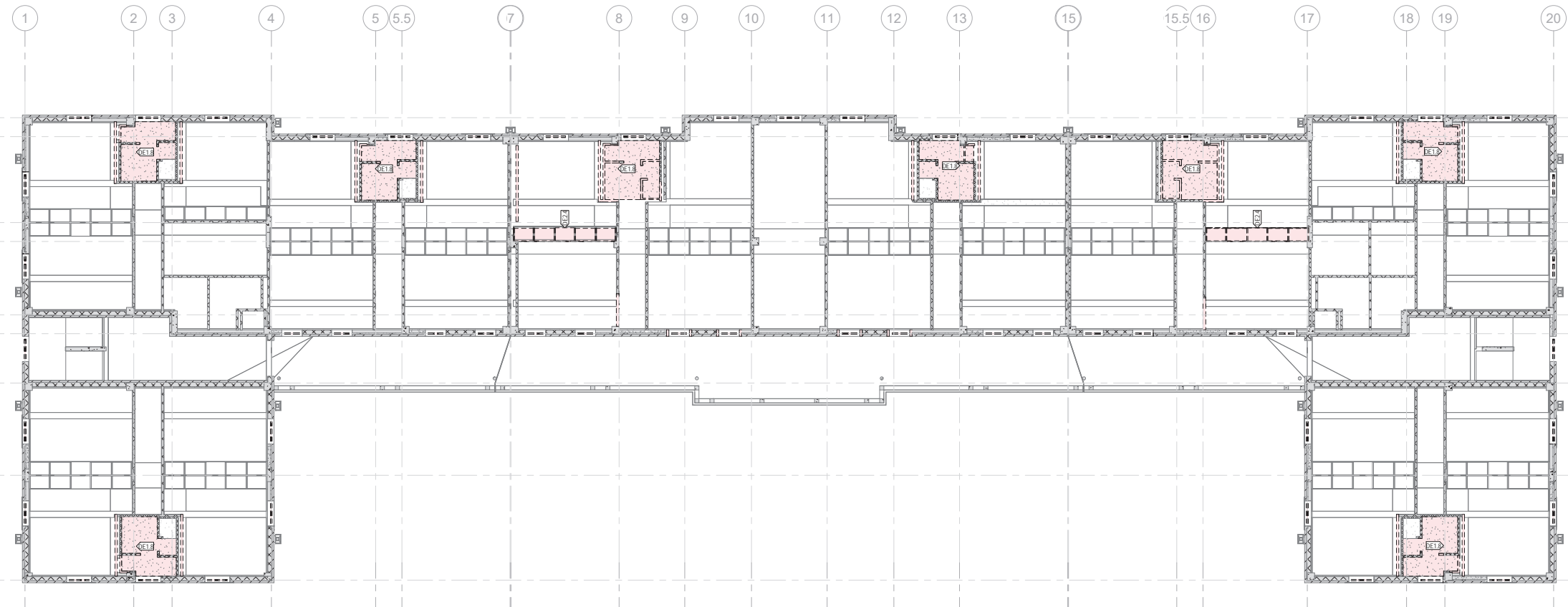
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A1 LEVEL 3 DEMOLITION CEILING PLAN
1/8" = 1'-0"



June 28th, 2023
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**AVERY
RESIDENCE HALL
RENOVATION**

TAG DESCRIPTION DATE

Project: 20UNC131
SCO ID: 20-21580-04A
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**LEVEL 4 DEMOLITION
RCP**

**SCHEMATIC
DESIGN
AD124**

KEYNOTES - DEMOLITION PLAN		
REV	DESCRIPTION	NOTE: NOT ALL KEYNOTES MAY BE USED ON EACH DRAWING
DE1.1	SLAB ON GRADE TO REMAIN	
DE1.2	KEEP EXISTING DOOR, ADD SEAL TO PERIMETER OF FRAME	
DE1.3	REMOVE FLOORING, FIELD VERIFY WHICH FLOOR FINISH REMAINS AFTER ABATEMENT	
DE1.4	REMOVE FLOORING & DEMO SUBFLOOR FOR NEW SHAFI OPENING	
DE1.5	REMOVE ALL PLUMBING FIXTURES THIS ROOM. SEE MECHANICAL AND FIELD VERIFY	
DE1.6	DEMO EXISTING WINDOW AND/OR DOOR - REPLACE WITH EXTERIOR WALL ASSEMBLY W/ FINISH TO MATCH ADJACENT EXISTING WALL	
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SYMBOLS LEGEND - DEMOLITION PLAN			
	KEYNOTE		NEW GRID LINE
	PARTITION OR WALL TO BE DEMOLISHED		EXISTING GRID LINE
	PARTITION OR WALL TO REMAIN		
	DOOR, FRAME, AND HARDWARE TO BE DEMOLISHED		
	DOOR, FRAME, AND HARDWARE TO REMAIN		
	CONSTRUCTION LIMITS		MATCH LINE
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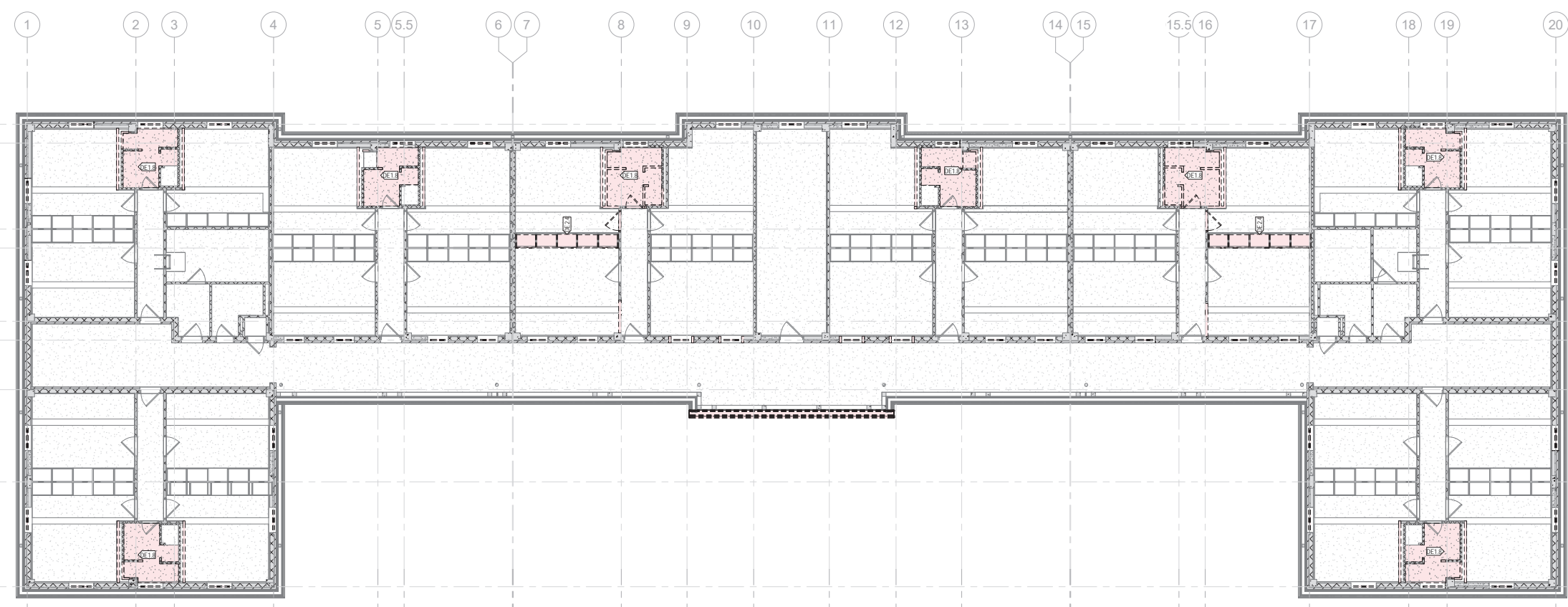
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A1 LEVEL 4 DEMOLITION CEILING PLAN



**EVERY
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**EXTERIOR
ELEVATIONS DEMO**

**SCHEMATIC
DESIGN
AD300**

SYMBOLS LEGEND - DEMOLITION PLAN		
	KEYNOTE	
	PARTITION OR WALL TO BE DEMOLISHED	
	PARTITION OR WALL TO REMAIN	
	DOOR, FRAME, AND HARDWARE TO BE DEMOLISHED	
	DOOR, FRAME, AND HARDWARE TO REMAIN	
	CONSTRUCTION LIMITS	
	DASHED LINES INDICATE AN ITEM TO BE REMOVED, UNLESS NOTED OTHERWISE	
NOTE: NOT ALL SYMBOLS MAY BE USED ON EACH PLAN		

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 - AREAS DISTURBED/DAMAGED BY DEMOLITION WORK (INCLUDING BUT NOT LIMITED TO: WALLS, PARTITIONS, FLOORS, ETC) SHALL BE PATCHED TO MATCH ADJACENT AREA.
 - OWNER RESERVES THE RIGHT OF FIRST REFUSAL OF SALVAGED ITEMS INCLUDING BUT NOT LIMITED TO: DOORS, LIGHT FIXTURES, PLUMBING FIXTURES, ETC.
 - SALVAGED ITEMS SCHEDULED FOR REUSE SHALL BE CLEANED, RESTORED, AND/OR REFINISHED TO LIKE NEW CONDITION UNLESS NOTED OTHERWISE.
 - DO NOT REMOVE EXISTING STRUCTURAL SUPPORT MEMBERS INCLUDING BUT NOT LIMITED TO: COLUMNS, BEAMS, JOIST'S, LOAD-BEARING PARTITIONS, ETC. UNTIL ADEQUATE PERMANENT OR TEMPORARY SUPPORT IS IN PLACE. EXISTING STRUCTURAL MEMBERS SHALL BE ADEQUATELY PROTECTED, COORDINATE WITH STRUCTURAL ENGINEER AND ARCHITECT.
 - SEE MECHANICAL, AND ELECTRICAL DRAWINGS FOR RELATED DEMOLITION AND PREP WORK.
 - WALL AND CEILING MOUNTED ITEMS SHOWN DASHED INCLUDING BUT NOT LIMITED TO: WALL CABINETS, SHELVING, CUBICLE CURTAIN TRACKS, PROJECTION SCREENS, ETC. SHALL BE REMOVED, UNLESS NOTED OTHERWISE.

KEYNOTES - DEMOLITION PLAN		
REV	KEYNOTE	NOTE: NOT ALL KEYNOTES MAY BE USED ON EACH DRAWING
DE1.1	SLAB ON GRADE TO REMAIN	
DE1.2	KEEP EXISTING DOOR, ADD SEAL TO PERIMETER OF FRAME	
DE1.3	REMOVE FLOORING, FIELD VERIFY WHICH FLOOR FINISH REMAINS AFTER ABATEMENT	
DE1.4	REMOVE FLOORING & DEMO SUBFLOOR FOR NEW SHAFT OPENING	
DE1.5	REMOVE ALL PLUMBING FIXTURES THIS ROOM. SEE MECHANICAL AND FIELD VERIFY	
DE1.6	DEMO EXISTING WINDOW AND/OR DOOR - REPLACE WITH EXTERIOR WALL ASSEMBLY W/ FINISH TO MATCH ADJACENT EXISTING WALL	
DE1.7	REMOVE EXISTING WOOD WINDOW AND REPLACE W/ NEW HISTORICAL ALUM WINDOW - STONE SILLS TO REMAIN, PROVIDE TEMPORARY SUPPORT AT LARGER SILLS	
DE1.8	REMOVE EXISTING CEILING, SOFFITS, AND ALL DEVICES - REPLACE WITH NEW CEILING (WHERE APPLICABLE) AS REFERENCED ON PLANS	
DE1.9	COORDINATE WITH ABATEMENT CONTRACTOR AT CEILING DEMO THIS ROOM	
DE2.1	DEMO EXISTING RAILING FOR NEW OPENING TO ADDITION	
DE2.2	DEMO EXTERIOR WALL FOR NEW OPENING - SALVAGE EXISTING BRICK FOR REINSTALLATION, COORDINATE FINAL EXTENT WITH GC AND ARCHITECT	
DE2.3	DEMO EXISTING WALL AND ANY DOORS AND/OR WINDOWS WITHIN IT	
DE2.4	SALVAGE BUILDERS FOR REINSTALLATION, COORDINATE FINAL EXTENT WITH GC AND ARCHITECT	
DE2.5	DEMO EXISTING FASCIA AND EAVE AT GABLE TO ALLOW FOR NEW ADDITION	
DE2.6	REMOVE AND RELOCATE HISTORICAL FIXED ROUND WINDOW TO THE GABLE FACE WALL OF THE NEW ADDITION	
DE2.7	DEMO EXTERIOR ROOF TO ALLOW FOR OPENING TO NEW DORMER ROOF ADDITION - COORDINATE FINAL EXTENT WITH GC AND ARCHITECT	



C1 PLAN WEST DEMOLITION ELEVATION
1/8" = 1'-0"



A1 PLAN SOUTH DEMOLITION ELEVATION
1/8" = 1'-0"



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**AVERY
RESIDENCE HALL
RENOVATION**

TAG	DESCRIPTION	DATE
A1 A-201		
A1 A-202		
A1 A-301		
A1 A-302		
A1 A-303		
A1 A-402		
A1 A-403		
A1 A-404		
A1 A-405		
A1 A-406		
A1 A-407		
A1 A-408		
A1 A-409		
A1 A-410		
A1 A-411		
A1 A-412		
A1 A-413		
A1 A-414		
A1 A-415		
A1 A-416		
A1 A-417		
A1 A-418		
A1 A-419		
A1 A-420		
A1 A-421		
A1 A-422		
A1 A-423		
A1 A-424		
A1 A-425		
A1 A-426		
A1 A-427		
A1 A-428		
A1 A-429		
A1 A-430		
A1 A-431		
A1 A-432		
A1 A-433		
A1 A-434		
A1 A-435		
A1 A-436		
A1 A-437		
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A1 A-439		
A1 A-440		
A1 A-441		
A1 A-442		
A1 A-443		
A1 A-444		
A1 A-445		
A1 A-446		
A1 A-447		
A1 A-448		
A1 A-449		
A1 A-450		
A1 A-451		
A1 A-452		
A1 A-453		
A1 A-454		
A1 A-455		
A1 A-456		
A1 A-457		
A1 A-458		
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A1 A-472		
A1 A-473		
A1 A-474		
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A1 A-497		
A1 A-498		
A1 A-499		
A1 A-500		

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LEVEL 0 FLOOR PLAN

D

C

B

A

A1 | LEVEL 0 FLOOR PLAN
1/8" = 1'-0"

**SCHEMATIC
DESIGN
A-100**



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RENOVATION**

TAG	DESCRIPTION	DATE

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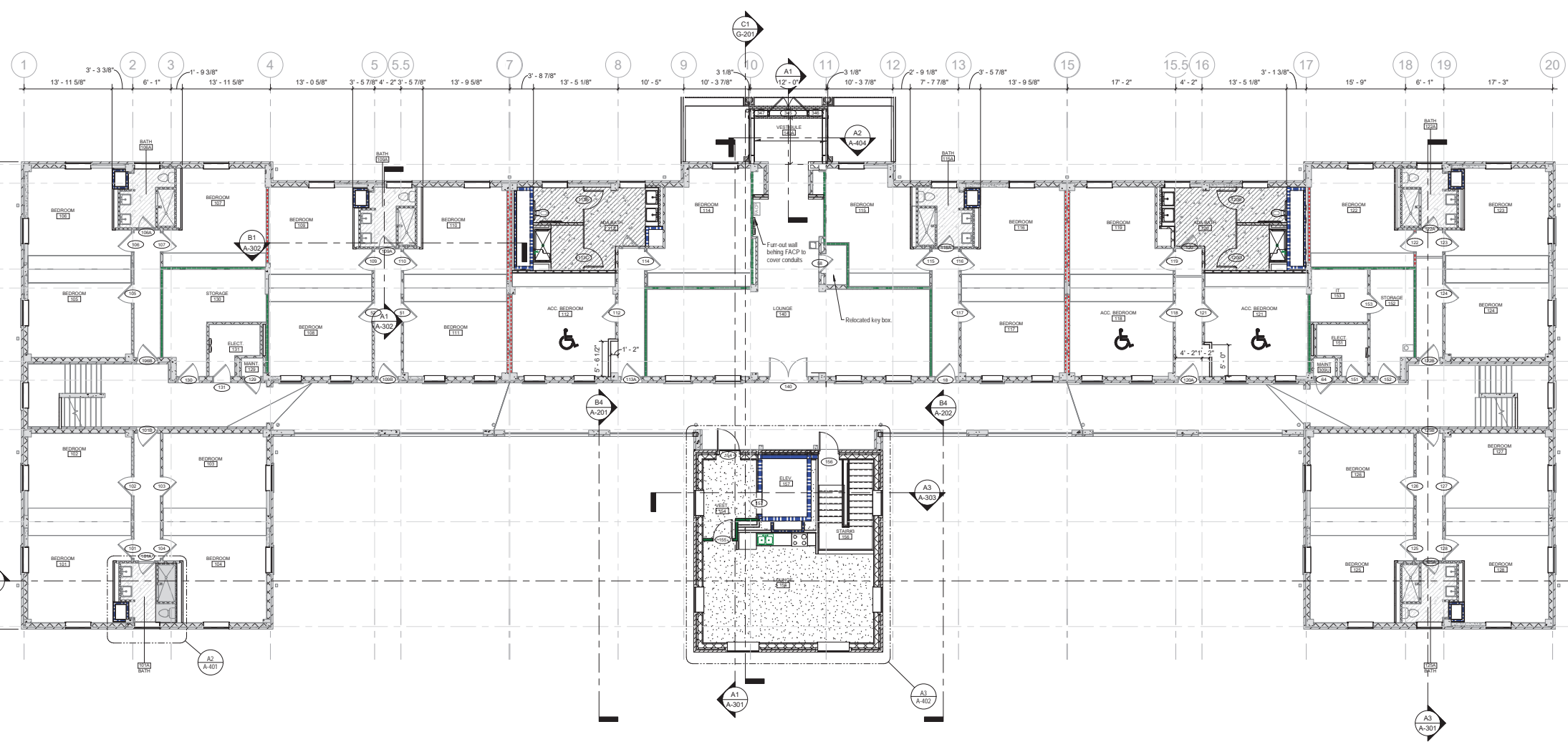
LEVEL 1 FLOOR PLAN

D

C

B

A



A1 LEVEL 1 FLOOR PLAN
1/8" = 1'-0"

**SCHEMATIC
DESIGN**

A-101



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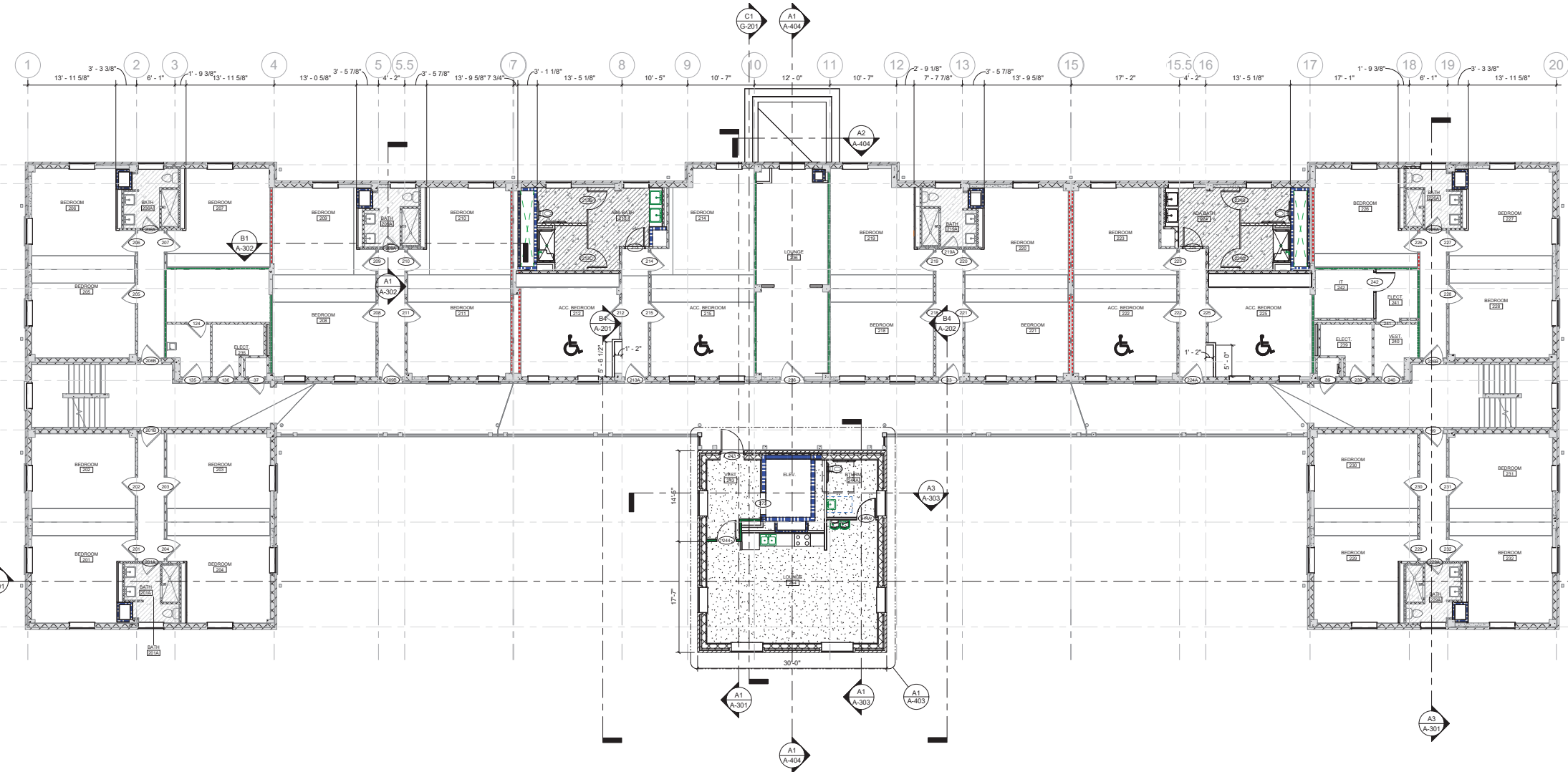
AVERY
RESIDENCE HALL
RENOVATION

TAG	DESCRIPTION	DATE
A1	A-301	
A1	A-302	
A1	A-303	
A1	A-403	
A1	A-404	
B1	B-301	
B1	B-302	
B1	B-303	
B1	B-304	
B1	B-305	
B1	B-306	
B1	B-307	
B1	B-308	
B1	B-309	
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B1	B-311	
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B1	B-397	
B1	B-398	
B1	B-399	
B1	B-400	

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LEVEL 2 FLOOR PLAN

D
C
B
A



A1 | LEVEL 2 FLOOR PLAN
1/8" = 1'-0"

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A-102



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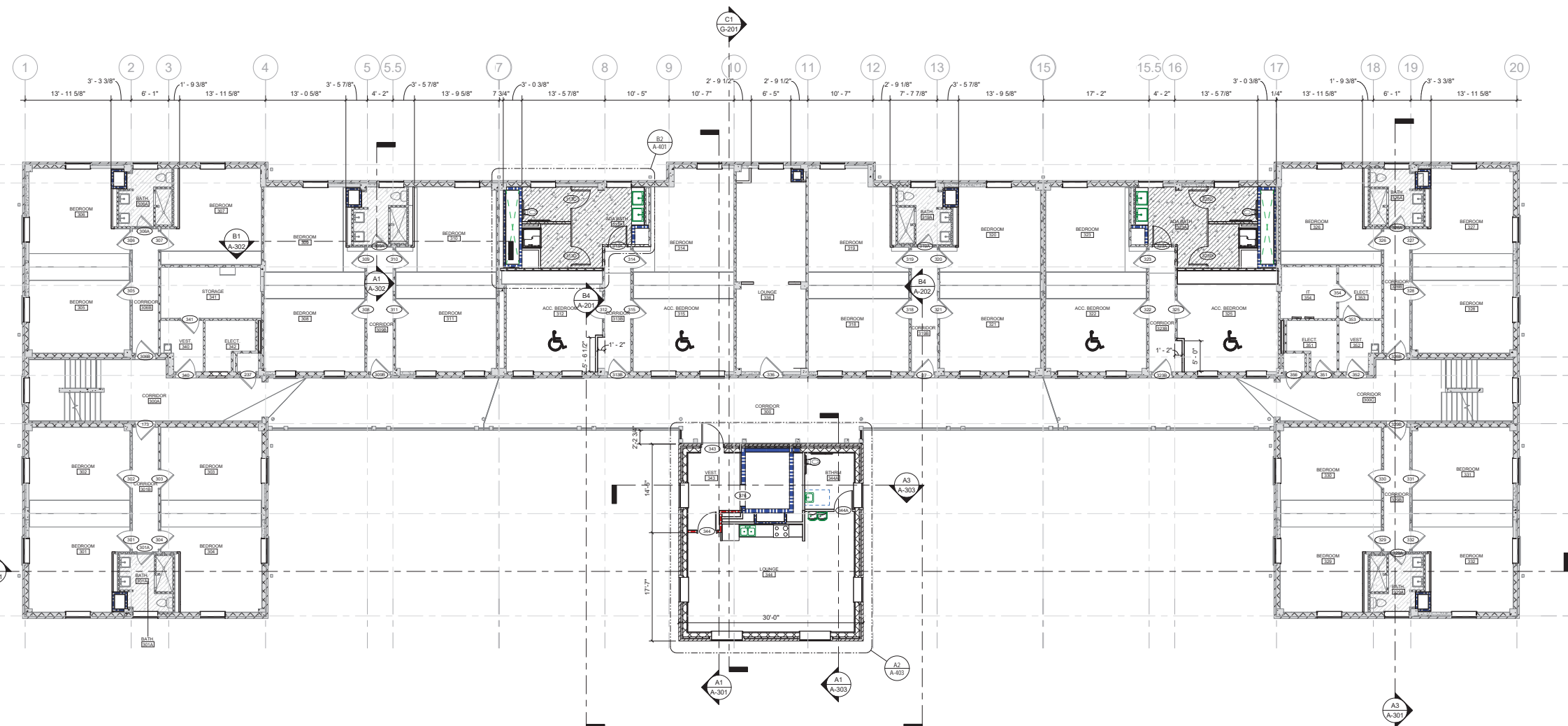
LEVEL 3 FLOOR PLAN

D

C

B

A



A1 LEVEL 3 FLOOR PLAN
1/8" = 1'-0"

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A-103



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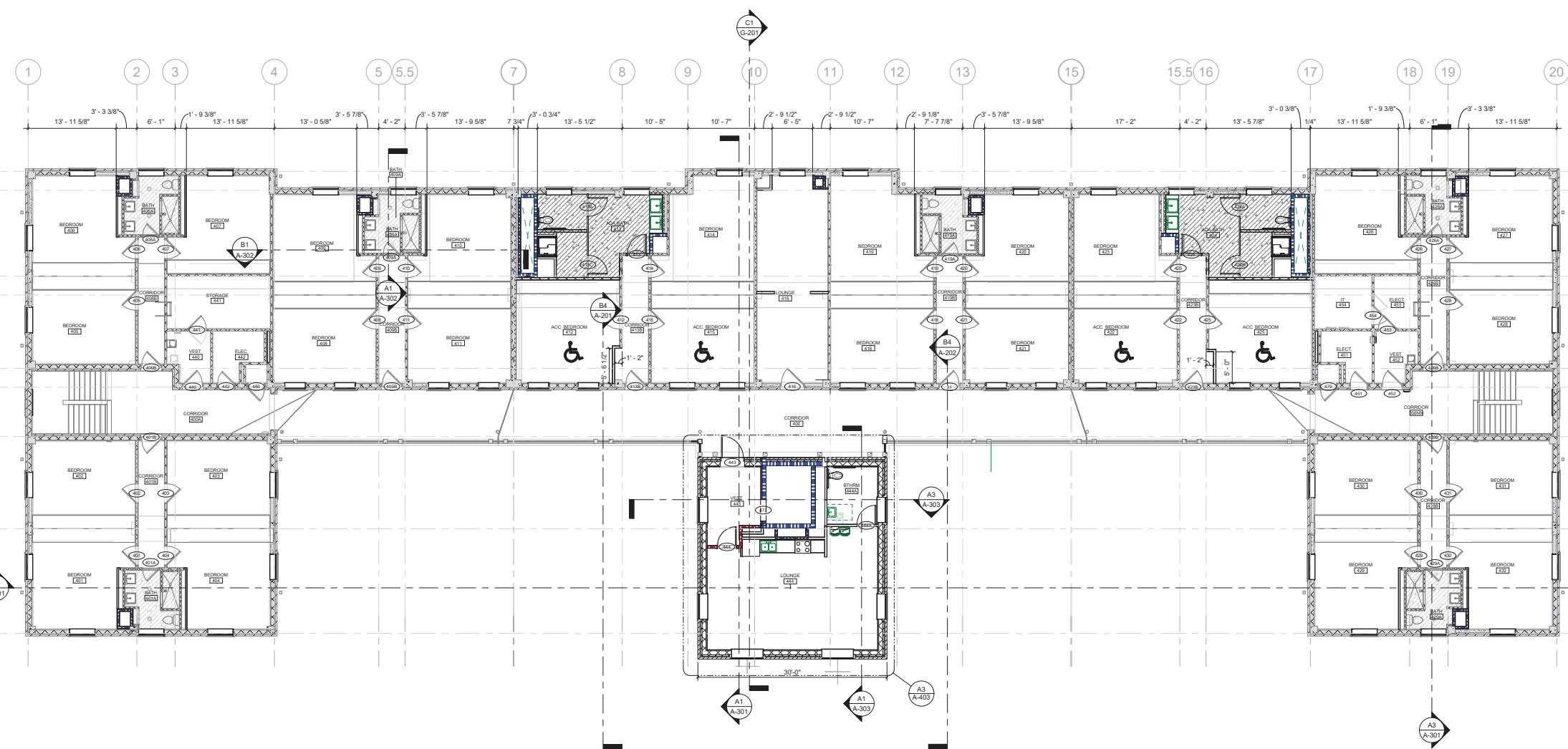
LEVEL 4 FLOOR PLAN

D

C

B

A



A1 LEVEL 4 FLOOR PLAN
1/8" = 1'-0"

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A-104



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**AVERY
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TAG	DESCRIPTION	DATE
B1	A-201	
C1	AD301	

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ROOF PLAN

**SCHEMATIC
DESIGN**

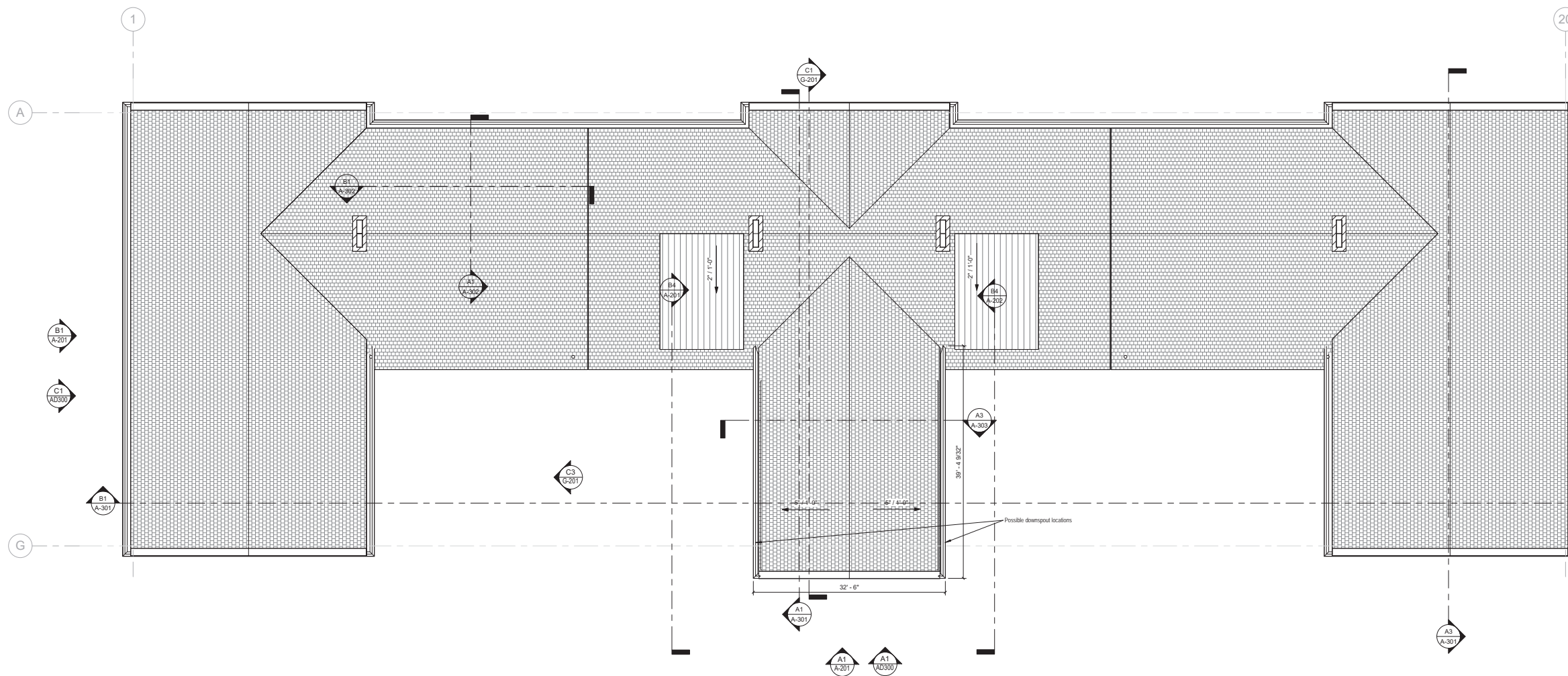
A-111

D

C

B

A



A1 | ROOF PLAN
1/8" = 1'-0"



**AVERY
RESIDENCE HALL
RENOVATION**

TAG	DESCRIPTION	DATE
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**EXTERIOR
ELEVATIONS**

**SCHEMATIC
DESIGN**

A-201

MATERIAL LEGEND

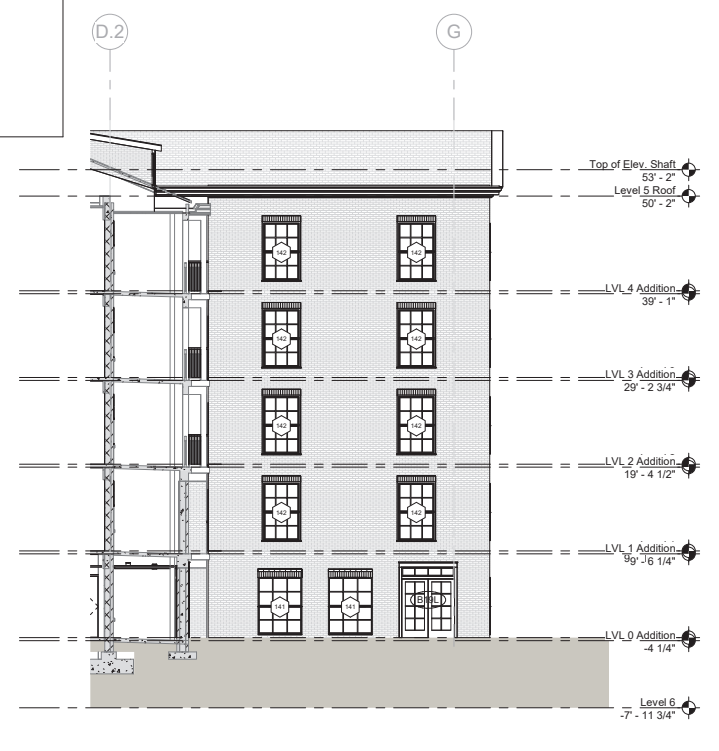
	ALUMINUM		PLASTER / GYPSUM BOARD
	BRICK		PLYWOOD (HORIZONTAL)
	BATT INSULATION		PLYWOOD (VERTICAL)
	CONCRETE MASONRY UNIT		STEEL
	CONCRETE		STONE
	EARTH		WOOD FRAMING
	FINISHED WOOD		WOOD BLOCKING
	GRAVEL / COURSE FILL		RIGID INSULATION

GENERAL NOTES - EXTERIOR ELEVATIONS

1. REFER TO A-XXX FOR EXTERIOR WALL TYPES.



B1 PLAN WEST ELEVATION
1/8" = 1'-0"



B4 NEW ADDITION - PLAN WEST ELEVATION
1/8" = 1'-0"



A1 PLAN SOUTH ELEVATION
1/8" = 1'-0"



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**AVERY
RESIDENCE HALL
RENOVATION**

TAG	DESCRIPTION	DATE
1		

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**EXTERIOR
ELEVATIONS**

**SCHEMATIC
DESIGN
A-202**

MATERIAL LEGEND

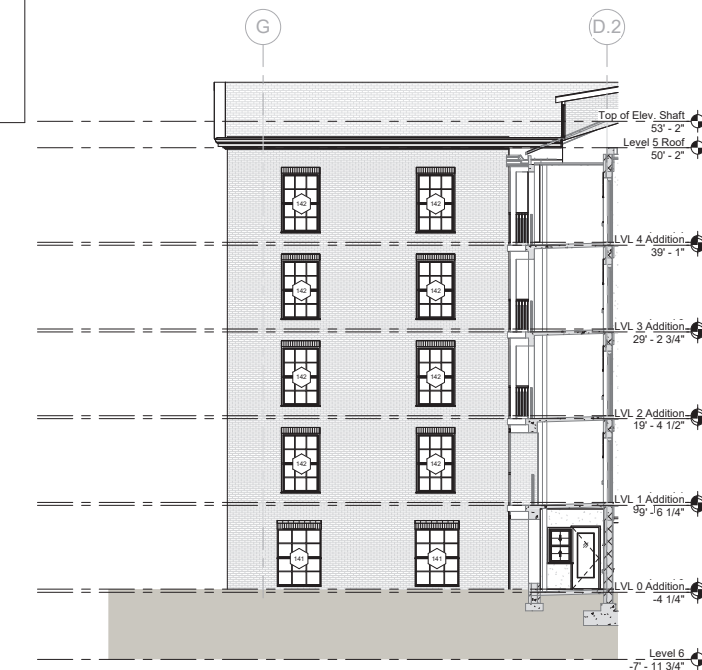
	ALUMINUM		PLASTER / GYPSUM BOARD
	BRICK		PLYWOOD (HORIZONTAL)
	BATT INSULATION		PLYWOOD (VERTICAL)
	CONCRETE MASONRY UNIT		STEEL
	CONCRETE		STONE
	EARTH		WOOD FRAMING
	FINISHED WOOD		WOOD BLOCKING
	GRAVEL / COURSE FILL		RIGID INSULATION

GENERAL NOTES - EXTERIOR ELEVATIONS

1. REFER TO A-XXX FOR EXTERIOR WALL TYPES.



B1 PLAN EAST ELEVATION
1/8" = 1'-0"



B4 NEW ADDITION - PLAN EAST ELEVATION
1/8" = 1'-0"



A1 PLAN NORTH ELEVATION
1/8" = 1'-0"

EXTERIOR RENDERINGS

D



SOUTH WEST VIEW

CANOPY IS AN ALTERNATE



SOUTH EAST QUAD

C

B

A



POTENTIAL SOUTH ARCADE



SOUTH VIEW OF ADDITION WITH ALTERNATE CANOPY

Jenkins-Peer Architects

112 South Tryon Street, Suite 1300
Charlotte, North Carolina 28284
(704) 372-6665

KWK ARCHITECTS
Architectural Consultant
103 W Lockwood Ave
St Louis, MO 63119
(314) 942-8810

STEWART ENGINEERING
Structural Engineer
101 N Tryon St #1400
Charlotte, NC 28202
(704) 334-7925

STEWART ENGINEERING
Civil Engineer
223 S West St #1100
Raleigh, NC 27603
(919) 380-8750

STEWART ENGINEERING
Landscape Architect
101 W Main Street
Durham, NC 27701
(919) 380-8750

SALAS O'BRIEN
Mechanical, Electrical, Plumbing & Fire Protection
Engineers
1620 Midtown Pl
Raleigh, NC 27609
(919) 832-8118



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EVERY
RESIDENCE HALL
RENOVATION

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3D REPRESENTATIONS

SCHEMATIC
DESIGN

A-801



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**AVERY
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3D REPRESENTATIONS

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A-802



SOUTH AERIAL VIEW



SOUTH VIEW FROM SOFTBALL FIELD



INTERIOR SOUTH ADDITION LOUNGE AT FIRST FLOOR



INTERIOR SOUTH ADDITION LOUNGE AT FIRST FLOOR